
STAFF COMMENTS FOR PLANNING COMMISSION

MEETING DATE: October 17, 2007

SUBJECT: SP-07-0013

TITLE: Aventiene: Neighborhood 3, Phase II

REQUEST: **FINAL SITE PLAN APPROVAL**
for 85 single-family attached, 30 2 over 2, &
64 single-family detached residential units

ADDRESS: Fields Road

ZONE: MXD (Mixed Use Development)

Applicant: Crown Village Farm LLC

Owner: Crown Village Farm LLC c/o KB Homes

STAFF: Rob Robinson, Planner

Enclosures:

Staff Comments

Exhibits:

- Exhibit 1: Application
- Exhibit 2: Location map
- Exhibit 3: Mailing Labels
- Exhibit 4: Resolution R-51-07
- Exhibit 5: Minutes of July 11, 2007 Planning Commission Meeting
- Exhibit 6: Resolution R-46-07
- Exhibit 7: Approved On-Site Road Improvement Staging Plan
- Exhibit 8: Approved Off-Site Road Improvement Plan
- Exhibit 9: Letter from Mr. Edgar Gonzalez to Asst. City Manager Felton
- Exhibit 10: SP-07-0013 Site Plan Cover Sheet
- Exhibit 11: SP-07-0013 Site Plan Notes & Details
- Exhibit 12: Parking Distribution Plan
- Exhibit 13-17: SP-07-0013 Site Plan
- Exhibit 18: Landscape Cover Sheet

Exhibit 19: Landscape Key Plan
Exhibit 20-25: Landscape & Lighting Plan
Exhibit 26-28: Site Details
Exhibit 29-30: Foundation Planting Unit Typical
Exhibit 31: Sod Plan
Exhibit 32: Street Tree Plan
Exhibit 33-34: Planting List & Details
Exhibit 35-38: Sediment Control Plan
Exhibit 39: Drainage Area
Exhibit 40-45: Storm Drain & Paving Plans
Exhibit 46: Private Alley Grade Establishment Plan
Exhibit 47: Street Signage & Pavement Marking Plan
Exhibit 48: Final Utility Plan
Exhibit 49: Turn Radius Study
Exhibit 50: Traffic Calming Plan
Exhibit 51: Architectural Elevation Plan Booklet

STAFF COMMENTS

I. BACKGROUND:

The Applicant is requesting Final Site Plan approval for the second phase of Neighborhood 3 in the Aventiene (Crown Farm) development. This phase is bounded by Fields Road to the north, Neighborhood 3 Phase I to the east, Decoverly Drive to the west, and a storm water management pond and future City Park site to the south. This application is the second such request based upon schematic development plan, SDP-06-005, approved May 21, 2007 by resolution R-51-07 (Reference exhibit 4).

II. SCOPE OF REVIEW:

The site plan proposes 85 single-family attached, 30 stacked (2-over-2) townhome condominiums, and 64 single-family detached residential units, in accordance with SDP-06-005. The purpose of this review is to address those aspects of the plan not defined during schematic development approval such as final architectural elevations and landscaping.

III. SITE PLAN ANALYSIS AND FINDINGS:

In accordance with §24-171, the Planning Commission has the authority to review and make determinations regarding the proposed plan for the purpose of protecting the public health, safety and welfare. The findings are referenced in §24-170. Accordingly, staff provides the following comments and findings for Planning Commission consideration:

Site and Environmental Characteristics

The Phase II subject site is 17.9± acres, mainly composed of former agricultural fields. There exists .59± acres of 100 year floodplain located in the southern limits of this application. A Natural Resource Inventory (NRI), approved December 1, 2005 was submitted with both the initial X-182 annexation application and the subsequent SDP-06-005 application. The NRI remains valid and carries forth with this application.

The Planning Commission, during their July 11, 2007 meeting, approved the Crown Farm final forest conservation and wildlife management plans (PI-V060023) (Reference exhibit 5). Staff has reviewed the current application and has verified that the proposed plans are in compliance with the approved plans.

Transportation, Traffic and Parking.

The current application has four (4) facets regarding the transportation/traffic network:

Road Design

The proposed layout for this application will be served by public roads and privately maintained alleys. The design for these roads was presented as part of Road Code Waiver application RC-37 and approved by resolution R-46-07 on May 21, 2007 (Reference exhibit 6). The applicable design crosssections for this phase include Sections 2, 4, and 9. In addition, this phase will be served by five foot (5') sidewalks and a six foot (6') path along Crown Village Boulevard.

On-Site Road Improvements

In addition to the necessary construction of roads within this phase, the applicant is required to perform other improvements approved as part of SDP-06-005 (Reference exhibit 7). The following will be required as a result of a Phase II approval:

- Dedication and completion of base paving of Street "A" (Crown Village Boulevard) from boundary of Pod 3 with Pod 6 (future school site) to the intersection with Diamondback Drive at earlier to occur of issuance of the 250th building permit or of that portion of Street "A" (Crown Village Boulevard) adjacent to a unit prior to occupancy of that unit in Pod (re: neighborhood) 2 or Pod 3.

Off-Site Road Improvements

The Applicant, as part of the SDP-06-005 approval, submitted an off-site road improvement plan to mitigate impacts resulting from development (Reference exhibit 8). The following will be required as a result of a Phase II approval:

Commencement of construction of, or participation in the cost of construction of, the following improvements by the earlier of the issuance of the 250th residential building permit or the commencement of construction of 100,000 square feet of commercial retail development for the permitted development.

- 1) Diamondback Drive and Decoverly Drive Road Improvements
 - i) Install approximately 185 foot diameter two (2) lane roundabout
- 2) MD 119 Great Seneca Highway and Decoverly Drive Road Improvements
 - i) Change westbound right turn lane to a free right
 - ii) Add one southbound thru lane. Southbound thru lane will begin approximately 1,000 feet north of Decoverly Drive and extend to a point approximately 700 feet south of Decoverly Drive, a total distance of approximately 1,700 feet
 - iii) Extend auxiliary lane from Sam Eig Highway back to Decoverly Drive (approximately 600 feet).

Fields Road

A significant issue that remains is the eventual design and ownership of Fields Road. The Applicant, from the time of sketch plan through schematic development plan approval and as part of the current application, has shown the CCT sited in the median. Currently, this decision is at the discretion of Montgomery County

Department of Public Works and Transportation (DPWT) as Fields Road is a County road.

Montgomery County has completed their review and has issued a position on Fields Road at this time (Reference exhibit 9). Montgomery County has determined that they are comfortable with the design of Fields Road, contingent upon the eventual transfer of ownership from the County to the City. A Memorandum of Understanding (MOU) between the two jurisdictions will have to be approved to finalize the relocation of the CCT within the median. Staff believes the proposed application can be reviewed by the Planning Commission for potential approval as shown; however conditions have been proposed should the MOU not come to fruition. This situation would impact the layout of Block "R" and would necessitate a redesign of the block.

Parking

The following chart summarizes the parking requirements for the current application. As is shown, Phase II is self parked and will retain a surplus based upon on-street availability.

Parking Required- Phase 2				
Townhouses	85 units	2.5/unit		213
Stacked Townhouses	30 units	2/unit		60
Cottage>900sqft	3 units	2/unit		6
SF "A"	35 units	2/unit		70
SF "B"	15 units	2/unit		30
SF "D"	11 units	2/unit		22
Total Required	179 units			401
Parking Provided - Phase 2				
Townhouses	85 units			
garage		.5 / space		76
driveway		as shown		140
2-over-2 Stacked Townhouses	30 units			
garage		1 / unit		30
driveway		1 / unit		30
Cottage	3 units			
garage		2/unit		6
driveway		as shown		4
Single Family	61 units			
garage		2/unit		122
driveway		as shown		86
On-Street				
Crown Village Boulevard				45
Aventiense Way				96
Sienna Drive				41
Swyndale Terrace				8
Total Provided - Phase 2				684

Architectural Elevations

Phase II includes the following housing breakdown:

(18) 16' Townhouses. These units are used to fulfill the workforce and moderately

priced housing unit requirements established under the X-182 Annexation Agreement. (Reference exhibit 51 pgs. 41&49)

- (3) 18' Townhouses (Reference exhibit 51 pgs. 40&41)
- (32) 20' Townhouses (Reference exhibit 51 pg. 50)
- (14) 22' Townhouses (Reference exhibit 51 pgs. 42-45)
- (18) 24' Townhouses (Reference exhibit 51 pg. 51)
- (30) Stacked Townhomes (2-over-2) Units (Reference exhibit 51 pg. 48)
- (17) Type A Single-Family Detached (Reference exhibit 51 pgs. 34-35 & 53-54)
- (33) Type B Single-Family Detached (Reference exhibit 51 pgs. 36-37 & 55)
- (3) Type C Cottage Units (Reference exhibit 51 pg. 48)
- (11) Type D Front Loaded Single-Family Detached (Reference exhibit 51 pgs. 38-39 & 56)

The Applicant has provided final architectural elevations. The elevations are in compliance with the approved design guidelines and are in keeping with the conceptual elevations presented at schematic development plan. The elevations are the same as what was approved by the Planning Commission for Phase I, SP-07-0004, with the exception of the KB Homes 16' townhouses and the 2-over-2 units. The Applicant has worked with staff on revising elevations including the use of thirty-year architectural grade shingles on all units, the addition of windows on areas of walls previously blank, and adding a third elevation roof type to the KB Home 16' unit. Elevations presented include those units delineated on the key-lot plan included within the guidelines. The elevations presented provide for the following requirements established in the design guidelines:

- 1) Each consecutive group of three (3) adjacent single family detached houses shall have distinct and different elevations. In addition, single family detached houses immediately adjacent to one another or directly across a public street from one another shall have distinct and different elevations. No identical color schemes for single family detached houses shall be repeated within three consecutive lots.
- 2) Single Family Detached Houses
 - i) All single family detached houses shall be treated with the same combination of building materials on all four sides of the unit.
 - ii) A minimum of 40% of the single family detached houses shall have a predominantly brick/masonry facade. Predominantly brick/masonry facade means that a minimum of 75% of the facade (net of and excluding roofs, doors and windows) shall be treated with brick, stone, block or other acceptable masonry materials.
 - iii) A minimum of 70% of the single family detached houses shall have either a predominantly brick/masonry facade or a combination masonry/siding facade. Combination masonry/siding facade means that between 30% and 75% of the facade (net of and excluding roofs, doors and windows) shall be treated with brick, stone, block or other acceptable masonry materials and the remainder may be treated with siding.

- iv) Up to 30% of the single family detached houses may have facades other than predominantly brick/masonry or combination masonry/siding facades, including siding.

3) Townhouses

- i) The townhouse located at the end of a row will be treated with the consistent material treatments on the front and side facades.
- ii) The first townhouse located at the alley entrances will have a consistent material treatment on the front, side and rear facades

Landscaping

The Applicant has submitted a comprehensive landscape set as part of this application (Reference exhibit 20-25). The landscaping submitted not only complies, but improves what was presented with the approved design guidelines and schematic development plan exhibits. Points of note include the use of underplantings below street trees along the major internal roads, the two enhanced pocket parks, and the various foundation plantings for the residential units. (Reference exhibit 29-30) The Applicant has presented a plan that uses a diverse array of plant materials and a number of fencing/screening options that will contribute to the overall aesthetics of this phase. It should be noted that there is a SDP-06-005 condition of approval requiring the submission of an Art in Public Places (AIPP) plan prior to final site plan approval. The AIPP for this project will be sited within Neighborhoods 1 and 2; therefore this SDP condition is not applicable to this current application.

IV. SUMMARY OF FINDINGS:

The proposed SP-07-0013 application complies with the requirements laid forth in the approved X-182 Annexation Agreement, the approved schematic development plan SDP-06-005, the approved Road Code Waiver RC-37, the approved Design Guidelines, and the approved Final Forest Conservation Plan. This application reaffirms those findings required under §24-160D.10(b) and approved by resolution R-51-07.

V. CONCLUSION.

Staff recommends granting **SP-07-0013, AVENTIENE NEIGHBORHOOD 3 PHASE II, FINAL PLAN APPROVAL, FINDING IT IN COMPLIANCE WITH §§ 24-160D.9(c), 24-170 and 24-171, WITH THE FOLLOWING CONDITIONS:**

1. The Applicant shall obtain final storm water management (SWM) plan approval by the Department of Public Works, Park Maintenance and Engineering (DPWPM&E) prior to the issuance of site development permits, with the exception of the issuance of rough grading permits;

2. The Applicant is to work with city staff and Montgomery County Ride-On regarding the review and approval of all bus shelter locations and routes;
3. The Applicant shall work with and receive design approval from WSSC for the construction of Aventiene Way, prior to the issuance of any relevant public works permits;
4. Landscaping along Aventiene Way to be approved by WSSC and staff;
5. The Applicant is to provide final signing, lane marking, turning radii plans, lighting plans, paving and storm drain plans, grade establishment plans, and details to be reviewed and approved by DPWPM&E prior to the issuance of public works permits;
6. The Applicant shall submit a sign package to include, but not be limited to, entry feature signage to be approved by the Planning Commission as a future amendment to final plan;
7. Homeowner association documents and covenants, including SWM maintenance agreements, are to be reviewed by staff for approval prior to issuance of the first use and occupancy approval;
8. The Applicant is to submit final design of raised crosswalks and other traffic calming to be reviewed and approved by DPWPM&E prior to the issuance of public works permits;
9. All workforce housing units shall be constructed and operated in accordance with the mpdu/workforce housing regulations adopted on January 16, 2007; however, the control period shall be 20 years and the purchaser may be required to tender a 10 percent deposit at time of contract execution;
10. The Applicant shall work with staff to redesign Fields Road and intersecting side streets within the property to address and resolve review comments from the Montgomery County Department of Public Works and Transportation (DPW&T);
11. The Applicant shall obtain from Montgomery County, review and approval of the roadway connection permits between the Montgomery County and the city portions of Decoverly and Diamondback Drives prior to the issuance of public improvement permits;
12. Block R of Aventiene Neighborhood 3, Phase I and Phase II will not be recorded, nor any building permits for these lots issued, until a Memorandum of Understanding between the City of Gaithersburg and Montgomery County is executed confirming that Montgomery County DPW&T will not mandate that the location of the Corridor Cities Transitway be along the side of Fields Road

(rather than in the median of Fields Road);

13. In the event that a Memorandum of Understanding between the City of Gaithersburg and Montgomery County, transferring the road to the City of Gaithersburg, cannot be finalized and Montgomery County DPW&T does not consent to the reconstruction of Fields Road with a 50 foot median, the Applicant must work with staff to redesign Fields Road to include a 50 foot buffer between housing units in Neighborhood 3 and the Corridor Cities Transitway alignment. Such redesign may require adjusting the location of housing units in Block R. Additionally, staff may require the applicant to provide additional landscaping and an earthen berm in this location;
14. In the event that a Memorandum of Understanding between the City of Gaithersburg and Montgomery County, transferring the road to the City of Gaithersburg, cannot be finalized and Montgomery County DPW&T mandates that the Corridor Cities Transitway be located along the side of Fields Road (rather than in the median of Fields Road), any site plan or engineering plan approvals of the Block R portion of Aventiense Neighborhood 3, Phase I and Phase II will be null and void. Furthermore, any changes to the lots, alleys, etc. Within this block, apart from the current proposed configuration, will have to be taken through the schematic development plan and site plan processes as well, including a revised noise study and noise mitigation plan;
15. The construction of the LEED certified community recreation building in Neighborhood 3 shall be completed prior to the issuance of a total of 400 building permits for the residential development in Neighborhoods 2 and 3;
16. The Applicant shall obtain all necessary approvals and permits from all local, county, state, and federal finding agencies prior to disturbing the stream valley buffer;
17. The Applicant shall obtain all necessary approvals and permits for offsite impacts related to environmental waivers from offsite property owners and, or Montgomery County permitting agencies prior to the issuance of city development permits; and
18. The Applicant shall place all environmentally sensitive areas and forest conservation areas under a permanent conservation easement to be recorded on final subdivision plats.

SITE PLAN APPLICATIONIn accordance with Article III, Division 19, Section 24-160 D.9
and Article V of the City CodeApplication # SP-07-0013Date Filed 8/24/07Total Fee \$ 8790.00

- ☐ CONCEPT
☐ PRELIMINARY
☒ FINAL (MXD FEE APPLIES)
☐ SCHEMATIC DEVELOPMENT

1. SUBJECT PROPERTYProject Name Aventiense - Phase 2 (formerly Crown Property)Street Address Fields Road, Gaithersburg, MarylandZoning MXD Historic area designation ☐ Yes ☒ No

Lot _____ Block _____ Subdivision _____

Tax Identification Number (*must be filled in*) _____**2. APPLICANT**Name Crown Village Farm, LLC c/o KB HomeStreet Address 8219 Leesburg Pike Suite No. 300City Vienna State VA Zip Code 22182Telephones: Work (703)663-6570 Home _____**3. CITY PROJECT NUMBER**Original Site Plan Number (*if applicable*) _____Name of previously approved Final Plan (*if applicable*) _____**4. ARCHITECT/ENGINEER/DEVELOPER**Architect's Name Ehrenkrantz, Eckstut & KuhnArchitect's Maryland Registration Number _____ Telephone (202)861-1325Street Address 888 16th Street, NW Suite No. 800City Washington State DC Zip Code 20006Engineer's Name Charles P. Johnson & AssociatesEngineer's Maryland Registration Number _____ Telephone (301)434-7000Street Address 1751 Elton Road, Suite No. 300City Silver Spring State MD Zip Code 20903Developer's Name KB Home Telephone (703)663-6570Street Address 8219 Leesburg Pike Suite No. 300City Vienna State VA Zip Code 22182Contact Person Greg May**5. PROPERTY OWNER**Name Crown Village Farm, LLC c/o KB HomeStreet Address 8219 Leesburg Pike Suite No. 300City Vienna State VA Zip Code 22182Telephones: Work (703)663-6570 Home _____

continued on reverse side

Ex. 1
SP-07-0013
7/24/10
PEN/00-000-131-0000

6. PRIMARY USE☐ Mixed Use☐ Non-Residential☒ Residential**7. PROPOSED UNIT TYPE**☐ Mixed Use☐ Retail/Commercial☐ Other☐ Office/Professional☐ Residential Multi-Family☐ Restaurant☒ Residential Single Family**8. WORK DESCRIPTION****9. PROJECT DETAIL INFORMATION.** Please supply the following information.

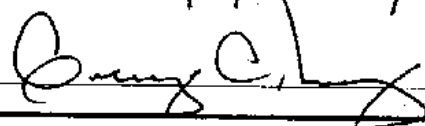
DEVELOPMENT INFORMATION		REQUIRED	PROVIDED
1.	Site (square feet)		780,201 sq. ft.
2.	Site Area (acres)		17.91 AC
3.	Total Number of Dwelling Units/Lots		179
4.	Height of Tallest Building		
5.	Green Area (square feet)		89,733.60
6.	Number of Dwelling Units/Acre		
7.	Lot Coverage (percent)		N/A
8.	Green Area (percent)		2.06
9.	Residential		
a.	Single Family Detached	# Units	64
b.	Single Family Attached	# Units	85
c.	Multi-Family Condo	# Units	30
d.	Multi-Family Apartment	# Units	
e.	Other		N/A
10.	Retail/Commercial	Sq. Ft.	N/A
11.	Restaurant Class: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C	Sq. Ft.	N/A
12.	Office/Professional	Sq. Ft.	N/A
13.	Warehouse/Storage	Sq. Ft.	
14.	Parking		
15.	Shared Parking/Waiver		N/A
16.	Other		
17.	Totals		

10. SUBMISSION REQUIREMENTS

- Set of plans per the respective checklist. Plans must be folded to 8 1/2" x 11."
- Completion of the table above.
- Completed checklist.
- Fee as applicable.

I have read and complied with the submission requirements and affirm that all statements contained herein are true and correct.

Applicants Name (please print) Gregory C. May Telephone 703-663-6518

Applicant's Signature  Date Aug. 23, 2007

SP-07-0013

Aventiense N3 Phase II

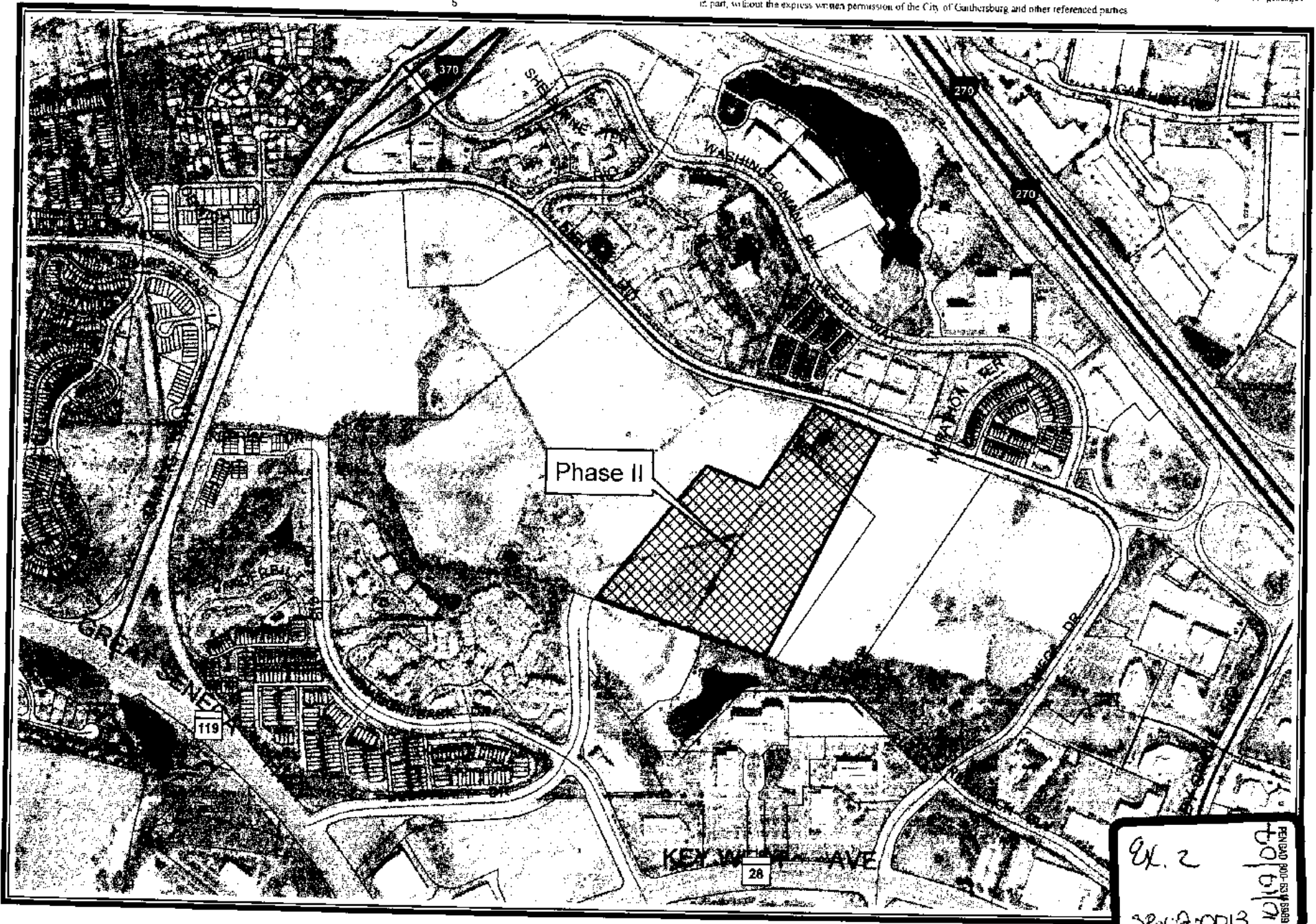


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City of Gaithersburg
Planning and Code Admin
31 S Summit Ave
Gaithersburg, MD 20877
(301) 258-6330
www.gaithersburgmd.gov



EX. 2
FO/b/a
SP-07-0013
PERIOD 2007-2013

OCCUPANT
9421 FIELDS RD
GAITHERSBURG MD 20878

OCCUPANT
9423 FIELDS RD
GAITHERSBURG MD 20878

OCCUPANT
9425 FIELDS RD
GAITHERSBURG MD 20878

OCCUPANT
9427 FIELDS RD
GAITHERSBURG MD 20878

OCCUPANT
9431 FIELDS RD
GAITHERSBURG MD 20878

OCCUPANT
9441 FIELDS RD
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9443 FIELDS RD
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OCCUPANT
9445 FIELDS RD
GAITHERSBURG MD 20878

OCCUPANT
9447 FIELDS RD
GAITHERSBURG MD 20878

OCCUPANT
9449 FIELDS RD
GAITHERSBURG MD 20878

OCCUPANT
2 CASE ST
GAITHERSBURG MD 20878

OCCUPANT
4 CASE ST
GAITHERSBURG MD 20878

OCCUPANT
6 CASE ST
GAITHERSBURG MD 20878

OCCUPANT
8 CASE ST
GAITHERSBURG MD 20878

OCCUPANT
9429 FIELDS RD
GAITHERSBURG MD 20878

ROY KIMURA
9427 FIELDS RD
GAITHERSBURG MD 20878

CROWN VILLAGE FARM LLC
C/O KB HOME MARYLAND INC
8000 TOWER CRESCENT DR #1350
VIENNA VA 22182

POTOMAC ELECTRIC POWER CO
C/O CORP TAX DEPT STE 5617
701 9TH ST NW
WASHINGTON DC 20068

DECOVERLY CORP OFF PK ASSC
INC-C/O BOSTON PROPERTIES
18310 MONTGOMERY VILLAGE AVE
GAITHERSBURG MD 20879

COURTYARDS AT RIO COMM
ASSN INC
6411 IVY LANE #510
GREENBELT MD 20770

ROCKY GORGE AT
WASHINGTONIAN LLC
1410 SPRING HILL RD STE 425
MC LEAN VA 22102

DECOVERLY SEVEN LTD PTNSHP
C/O CRT PROPERTIES INC
225 NE MIZNER BLVD STE 200
BOCA RATON FL 33432

AVALON CHASE GROVE INC
C/O ALEXANDRIA TECH CENT
2900 EISENHOWER AVE FL 3
ALEXANDRIA VA 22314

AVALON PROP INC
C/O BRAD KARLEN
2900 EISENHOWER AVE FL3
ALEXANDRIA VA 22314

DECOVERLY CORP OFF PK ASSC
INC-C/O BOSTON PROPERTIES
18310 MONTGOMERY VILLAGE AVE
GAITHERSBURG MD 20879

CHARLES P JOHNSON & ASSOCIATES
1751 ELTON ROAD
SILVER SPRING MD 20903

EE & K
888 15TH ST NW
SUITE 800
WASHINGTON DC 20006

LANDDESIGN
1414 PRINCE ST
SUITE 400
ALEXANDRIA VA 22314

CENTEX HOMES
15890 GAITHER DR
GAITHERSBURG MD 20877

MAIL ROOM	
OCT - 5	84.3
GAITHERSBURG PLANNING COM	
SP-07-0013	
RECEIVED 8:00-031-0989	

Re sent Agenda for 17-0CT-07 M97.

RESOLUTION NO. R-51-07

RESOLUTION OF THE MAYOR AND CITY COUNCIL
OF GAITHERSBURG GRANTING APPROVAL OF
SCHEMATIC DEVELOPMENT PLAN SDP-06-005,
KNOWN AS THE CROWN FARM, FOR
APPROXIMATELY 177.9 ACRES OF PROPERTY
ZONED MIXED USE DEVELOPMENT (MXD)

SDP-06-005

OPINION

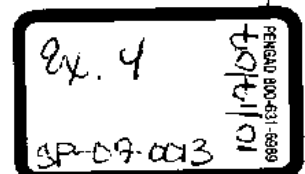
Schematic development plan (SDP) application SDP-06-005, zoned Mixed Use Development (MXD), has come before the Mayor and City Council for approval. The City Council's authority in this matter is pursuant to §24-160D.9(b)(3) of the City of Gaithersburg Zoning Ordinance (Chapter 24 of the City Code), which authorizes the Council and Commission to conduct public hearings on a schematic development plan application following appropriate notification procedures and to take action on the application within ninety (90) days of the close of the hearing record, following receipt of a recommendation by the City Planning Commission.

The subject case involves approximately 177.9 acres of land and concerns the development of the subject property ("Property") known as Parcels P445, P600, P905, P883, and P820. The Property is located along the southwest side of Fields Road being bordered by Sam Eig Highway, to the west, and Omega Drive on the east. The Property is currently bounded on the southwest by a stream valley, separating the Property from the Decoverly neighborhood and the NASDAQ office campus. The schematic development plan application was submitted to the City Planning and Code Administration on September 22, 2006. This application was designated as SDP-06-005.

OPERATIVE FACTS

A. Background

The Crown Farm Property, was the subject of a three-day public charrette held during September 22-25, 2005. This event was attended by the public, City staff and officials, as well as Maryland-National Capital Park and Planning, Montgomery County Public Schools, and Montgomery County staff and officials. The charrette provided the basis for the plan submitted under annexation application X-182. The Property was annexed into the City of Gaithersburg August 7, 2006 by resolution R-82-06. In addition to the annexation approval, the Mayor & City Council also established MXD (Mixed Use Development) zoning for the Property and approved the associated sketch plan by ordinance O-8-06. The approved sketch plan was based upon and further defined by the X-182 Annexation Agreement, also approved August 7, 2006.



B. Current Application:

On September 22, 2006, Gary Unterberg of Rodgers Consulting, Inc., representing the applicant, Crown Village Farm LLC submitted an application for schematic development plan, SDP-06-005. This application includes 320,000 square feet of commercial and 2250 residential units. The application focuses primarily on neighborhoods 2 and 3 and the base infrastructure needed to serve the five neighborhoods.

The Mayor & City Council and Planning Commission held a consolidated joint public hearing for SDP-06-005 on November 6, 2006. During the course of the hearing, specific aspects of the application, namely traffic impacts, community design, and neighboring communities concerns, were commented upon. To further address these issues, a joint work session was held December 11, 2006. Following that work session, staff continued to work with the applicant on refining the plan and a second joint work session was held on January 22, 2007. During this meeting, The Mayor & City Council and Planning Commission were briefed on the overall progress of the plan with an emphasis on parking, traffic, and LEED issues.

The Planning Commission record on SDP-05-002 closed as of five (5) PM, March 14, 2007. The Planning Commission reviewed the SDP-06-005 application at its regular meeting on March 21, 2007. Based upon their review of the evidence, the Planning Commission found that the SDP-06-005 application to be in conformance with the MXD Zone standards. Consequently, the Planning Commission recommended approval of the SDP-06-005 application with the following conditions required of the applicant:

1. Fields Road shall be designed and constructed based on the concept shown on the SDP-06-005 application with the Corridor Cities Transitway aligned within the center median. Should the applicable government permitting agency deny this proposed design for Fields Road prior to SDP approval, the SDP-06-005 application shall be re-reviewed and the current Planning Commission recommendations dated March 21, 2007, rescinded;
2. Applicant is to provide an Art in Public Places (AIPP) plan and commit funding of \$50,000, to be approved by City staff and the AIPP Committee prior to final site plan approval;
3. Applicant is to provide a proposed covenant, per Zoning Ordinance § 24-160D.9(c)(5), subject to review and approval by the City Attorney and City staff, indicating how the development area will be included in any homeowner's association or other organization, and how any open space, community space, storm water

management (SWM) facilities or amenities located within the area, will be perpetually maintained and funded prior to final site plan approval;

4. Applicant shall continue to refine the roadway and alleyway designs and include appropriate traffic calming measures to be reviewed and approved by DPWPM&E during the final site plan stage;
5. The Mayor and City Council shall approve the Design Guidelines as part of the SDP-06-005 approval, with the following clarification: balconies and overhangs are to have finished undersides;
6. Applicant shall dedicate the "Transit Project Dedication Area" referenced in Exhibit "E" of the Agreement at the earlier of the issuance of the 500th residential building permit or approval of the final record plat for the permitted development;
7. Applicant shall place all environmentally sensitive areas and forest conservation areas under a permanent conservation easement to be recorded on record plats;
8. Applicant shall donate to the City of Gaithersburg a parcel of land, from the Crown Village Property, not to exceed 32.1 acres upon recordation of the initial subdivision plat for the permitted development in Neighborhood 2 or Neighborhood 3;
9. Applicant shall dedicate the Neighborhood 4 City Park site, including any improvements, upon issuance of the 300th residential building permit for any approved development;
10. Applicant shall be entitled to receive an allocation of 225 building permits per year for the residential development in Neighborhoods 1, 2, and 3, during each of the first six (6) years after the date of the X-182 approved Annexation Agreement or until building permits for all of the residential units in Neighborhoods 1, 2, and 3 are issued. Any annual allocation of building permits not actually issued in any given year may be carried over into the subsequent year or years and said allocations shall be cumulative;
11. Construction of 80,000 square feet of commercial/retail development in Neighborhood 1 must be commenced by

the issuance of the 470th building permit in Neighborhoods 2 and 3 and prior to the issuance of any single-family dwelling building permits in Neighborhood 1;

12. The construction of the LEED Certified Community Recreation Building in Neighborhood 3 shall be completed prior to the issuance of a total of 400 building permits for the Residential Development in Neighborhoods 2 and 3;
13. Prior to approval of building permits for those units delineated to be in the area greater than the 65 dba contour on the SDP-06-005 noise mitigation plan, there shall be certification by a professional engineer with competency in acoustical analysis that the building shell will attenuate current exterior noise levels to an interior level not to exceed 45 dba Ldn;
14. A written commitment signed by the builder shall be submitted assuring that the construction of the units be in accord with the engineer's specifications for those units delineated to be in the area greater than the 65 dba contour on the SDP-06-005 noise mitigation plan;
15. Applicant is to submit truck turning, traffic calming, traffic signage, and lane marking plans to create orderly and safe vehicle movement throughout the site for approval by DPWPM&E and the City of Gaithersburg Fire Marshal prior to final site plan approval;
16. Applicant shall obtain from Montgomery County, review and approval of the roadway connection permits between the Montgomery County and the City portions of Decoverly and Diamondback Drives prior to the issuance of public improvement permits;
17. Applicant is to obtain letters from PEPCO, Washington Gas, Verizon, and Comcast approving conceptual utility plans prior to subsequent SDP amendment approvals and submit final designs of any utility plans prior to the issuance of public improvement permits ;
18. Applicant must obtain SWM concept plan approval prior to the issuance of rough grading permits;
19. Applicant must obtain approval of all environmental waivers, as recommended by City staff, from the Mayor

and City Council prior to the approval of the final forest conservation plan;

20. Applicant must obtain approval of the final forest conservation plan, that include a woodland restoration plan, reforestation plan, and invasive species management plan, prior to the issuance of rough grading permits;
21. Applicant shall obtain approval of a wildlife management plan prior to the issuance of rough grading permits;
22. Applicant shall obtain all necessary approvals and permits for offsite impacts related to the environmental waivers from offsite property owners prior to final site plan approval and from County permitting agencies prior to the issuance of public improvement permits; and
23. Applicant shall be required to obtain an amendment to SDP-06-005 for Pods 1, 4, 5 and 6, including submission of the Design Guidelines and final architecture elevations for Pods 1 and 5, prior to seeking final site plan approval for Pods 1, 4, 5 and 6.

C. Evaluation and Findings

The City Council, upon careful review of the evidence of record, agrees with the findings, conclusions and the recommendation of approval for schematic development plan SDP-06-005 by the City Planning Commission and City staff. The City Council finds those recommendations to be well reasoned and adopts and incorporates their findings as part of this action. The City Council further agrees with the Planning Commission in that the procedures governing the application for the MXD Zone and approvals necessary to seek building permits are subject to a multi-step process and that this is only one of several steps of the process, that subsequently includes Final Site Plan reviews and approvals.

In reviewing the subject application for the approval of schematic development plan SDP-06-005, the City Council finds the application and development proposal meets or accomplishes the purposes, objectives, and minimum standards and requirements of the MXD Zone that are set forth in Chapter 24 (Zoning) Article III, Division 19 of the City Code.

The City Council finds that the application meets the submission requirements and the standards and requirements for approval of the subject schematic development plan, as set forth in §24-160D.9(b) in that:

- 1) The applicant filed, together with the prescribed application fee, an application for approval of a schematic development plan which is consistent with the approved sketch plan in terms of nature, density, location of use, access, circulation, and

preservation features;

- 2) The schematic development plan is scaled at one inch equals fifty (50) feet and contains: a) boundary survey; b) the uses of all buildings and structures within the schematic development plan area, as well as existing uses of adjacent property external to the MXD zoned area and proposed uses within adjoining MXD zoned areas; c) the location, height, approximate dimensions and conceptual elevations of all buildings and structures, and the setbacks and densities and/or square footage thereof; d) the location of points of access to the site and all public and private roads, pedestrian and bike paths; e) the location and setbacks of parking areas; f) existing topography, including, contour intervals of not more than two (2) feet; an approved forest stand delineation and forest conservation plan; one-hundred-year floodplains; other natural features; utility easements; g) all landscaped areas, proposed conceptual screen planting, open spaces, plazas, malls, courts, community identification signage, recreation and amenity areas; h) proposed phasing or staging plan of development and information relating to such plan's consistency with the provision of public facilities; i) demonstration of general compliance with any Master Plan recommendations for the property, including any special conditions or requirements related to the property set forth in the Master Plan; and j) a proposed covenant or other form of agreement indicating how the area will be included in any homeowners association or other organization, and how any open space, community space or amenities located within the area subject to review will be perpetually maintained;
- 3) The schematic development plan is in substantial compliance with the approved sketch plan (X-182);
- 4) The schematic development plan contains a minimum of two hundred (200) dwelling units and one hundred thousand (100,000) square feet of proposed retail/office development, or a comparable equivalent mix;
- 5) The City Council and City Planning Commission have conducted a joint public hearing(s) on the application subject to the notification procedures in section 24-196 of this Code.
- 6) The Planning Commission delivered its recommendation to the City Council on March 21, 2007, within thirty (30) days of the close of the commission's hearing record of March 14, 2007.
- 7) The Council is taking action on the application within ninety (90) days after the close of the Council's hearing record on May 17, 2007;
- 8) The approval of this schematic development plan with its degree of detail shall substitute for preliminary site plan approval; and
- 9) The schematic development plan demonstrates compliance with Master Plan recommendations for the property, including any special conditions or requirements related to the property set forth in the master plan for among other reasons, the

nature, and density, and mix of uses posed, future accessibility to public transportation improvements, retention of forested areas, and interrelationship and compatibility of uses.

Furthermore, the City Council finds from the evidence of record that the application for schematic development plan approval, SDP-06-005, as currently amended, fulfills the findings required under §24-160D.10(b):

1) The plan is substantially in accord with the approved sketch plan:

The current SDP application has established (5) neighborhoods whose uses conform to the PODs defined in the approved X-182 Sketch Plan. The proposed residential, 322 total units, in Neighborhood 2 is within the approved 310-325 unit range and the various housing types are within the permitted sketch plan ranges of:

210 total proposed Townhouses	(155-228 Allowed)
38 total proposed 2 over 2 Units	(31-65 Allowed)
67 total proposed Single-Family Detached	(59-98 Allowed)

The current Neighborhood 3 proposal also complies with the Sketch Plan:

288 total units	(280-290 permitted unit range)
145 total proposed Townhouses	(126-162 Allowed)
30 total proposed 2 over 2 Units	(28-44 Allowed)
113 total proposed Single-Family Detached	(95-131 Allowed);

2) The plan meets or accomplishes the purposes, objectives and minimum standards and requirements of the zone:

- a) The Crown SDP application provides Design Guidelines that ensure design flexibility and coordination of architectural style of buildings.
- b) The Crown Farm development will provide a mix of land uses including residential, commercial, recreational, open space, and amenities that work to complement one another within a neighborhood framework.
- c) The proposed mix of land uses, residential, commercial, and educational are compatible with the surrounding existing uses. The Crown Farm will provide shoppers and employees to the nearby Rio/Washingtonian Center; the proposed 320,000 square feet of commercial will serve the neighboring residential developments; and the future High School will service the greater community.
- d) The Plan, as submitted, encourages the efficient use of land by: locating employment and retail uses convenient to residential areas; reducing reliance upon automobile use with the future CCT Station location, encourages pedestrian and other non-vehicular circulation systems through the use of 10', 8', and 6' wide paths that, in addition to the sidewalk network, connect the various neighborhoods and the Crown Farm to its neighboring areas; and retaining and providing useable open space and active recreation areas by way of the neighborhood 1 and 3 clubhouses

and pools, the dedication of the five (5) acre City Park, and the creation of planned open spaces such as the Central Green;

3) The plan is in accord with the area master plan and any accompanying special condition or requirements contained in said master plan for the area under consideration:

While the Crown Property is identified in the *2003 City of Gaithersburg Land Use Master Plan* as Special Study Area 4, that study has not yet been completed and no specific land use or zoning recommendations for the property have been incorporated into the adopted plan; however, a land use study was performed as part of Annexation X-182, establishing uses similar to the objectives of a Special Study Area. The proposed plan also complies with the themes expressed in the *2003 Process and Overview Master Plan*, as evidenced by Joint Exhibit #6 submitted by the applicant;

4) The plan will be internally and externally compatible and harmonious with existing and planned land uses in the MXD zoned area and adjacent areas:

The proposed mix of land uses; residential, commercial, and educational are compatible with the surrounding existing uses. The Crown Farm will provide shoppers and employees to the nearby Washingtonian Waterfront offices and retailers; the proposed 320,000 square feet of commercial space will serve the neighboring residential developments as well as the Crown residents; the future High School will service the greater Montgomery County community; and the future CCT transit stop is to serve the Crown/Washingtonian region;

5) That existing or planned public facilities are adequate to service the proposed development contained in the plan:

- a) Montgomery County Public Schools has determined there is sufficient overall school capacity to absorb future Crown students.
- b) WSSC has received the Montgomery County approved category change to provide both water and sewer to the Crown development.
- c) The proposed Off-Site road improvements will mitigate impacts from the development, subject to Montgomery County Department of Public Works & Transportation and SHA approval.
- d) The site is currently served by two (2) existing fire stations and, by final build-out, will be served by yet a third station to come online within two (2) years.
- e) The clubhouses and pools found in Neighborhoods 1 and 3 are sized to Montgomery County standards that will adequately serve the Neighborhoods 1, 2, and 3 populations;

6) That the development staging or phasing program is adequate in relation to the provision of public facilities and private amenities to service the proposed development:

The X-182 annexation agreement has established a cap on available yearly building permits to minimize impacts. In addition, items such as clubhouse construction and off/on-site road improvements are tied to issued building permits to ensure the Crown development residents are properly served; and

7) That the plan, if approved, would be in the public interest:

The Crown Farm plan, SDP-06-005, will create a well planned and executed mixed-use development that establishes a sustainable and livable community that will remain a long term asset to the City. Crown will be designed, through the application of good design principles and historic preservation, to have a strong sense of place and a distinct identity while providing a larger tax base for the City to generate additional revenue that can help support a wider array of public programs, services, and improvements.

In summary, the City Council finds SDP-06-005, as amended, containing five neighborhoods; 2250 total residential units, with 610 being sited in Neighborhoods 2 and 3; 320,000 square feet of commercial uses; and dedication/donation of land for public uses, including a future public high school, a City neighborhood park, and Right-of-Way and parking for the future Corridor Cities Transitway to be in accordance with §§ 24-160D.9.(b) and 160D.10.(b) and as hereafter conditioned, is in the public interest and should be approved due to the presence of substantial evidence in the record to indicate that the subject Schematic Development Plan has accomplished the purposes of the MXD Zone, as well as generally accepted City planning and land use policies, subject to the applicant complying with the conditions stated in this Resolution.

SCHEMATIC DEVELOPMENT PLAN SDP-06-005

RESOLUTION

NOW, THEREFORE BE IT ORDAINED by the City Council of Gaithersburg, that SDP-06-005, being an application filed by Rodgers Consulting, Inc. on behalf of Crown Village Farm LLC, requesting approval of Schematic Development Plan is hereby approved subject to the following conditions required of the applicant:

1. In the event that Montgomery County Department of Public Works and Transportation does not consent to the reconstruction of Fields Road with a 50 foot median or transfer the road to the City of Gaithersburg, the applicant must work with staff to redesign Fields Road to include a 50 foot buffer between housing units in Neighborhood 3 and the Corridor Cities Transitway alignment. Such redesign may require adjusting the location of housing units in Block R. Additionally, staff may require the applicant to provide additional landscaping or an earthen berm in this location;
2. The applicant will work with staff to redesign Fields Road

and intersecting side streets within the property to address and resolve review comments from the Montgomery County Department of Public Works and Transportation. This may involve the granting of additional right of way to accommodate shifts in alignment, and additional turn lanes, acceleration lanes and deceleration lanes;

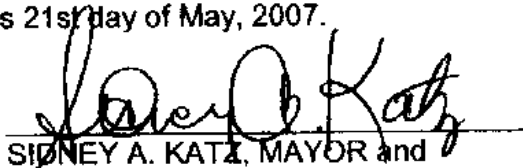
3. Applicant shall donate to the City of Gaithersburg a parcel of land, from the Crown Village Property, not to exceed 32.1 acres upon recordation of the initial subdivision plat for the permitted development in Neighborhood 2 or Neighborhood 3;
4. Applicant shall dedicate the Neighborhood 4 City Park site, including any improvements, upon issuance of the 300th residential building permit for any approved development;
5. Applicant shall obtain approval of all road code waivers, as recommended by City staff, from the Mayor and City Council;
6. Applicant shall continue to refine the roadway and alleyway designs and include appropriate traffic calming measures to be reviewed and approved by DPWPM&E during the final site plan stage;
7. Applicant shall obtain approval of all environmental waivers and obtain letters of intent for all necessary easements, as required by City staff, from the Mayor and City Council prior to the approval of the final forest conservation plan;
8. Applicant must obtain approval of the final forest conservation plan, that include a woodland restoration plan, reforestation plan, and invasive species management plan, prior to the issuance of rough grading permits;
9. Applicant shall obtain approval of a wildlife management plan prior to the issuance of rough grading permits;
10. Applicant must obtain SWM concept plan approval prior to the issuance of rough grading permits;
11. The construction of the LEED Certified Community Recreation Building in Neighborhood 3 shall be completed prior to the issuance of a total of 400 building permits for the Residential Development in Neighborhoods 2 and 3;

12. Applicant is to provide an Art in Public Places (AIPP) plan and commit funding of \$50,000, to be approved by City staff and the AIPP Committee prior to final site plan approval;
13. All Workforce housing units shall be constructed and operated in accordance with the MPDU/Workforce housing regulations adopted on January 16, 2007; however, the control period shall be 20 years and the purchaser may required to tender a 10 percent deposit at time of contract execution;
14. Applicant is to provide a proposed covenant, per Zoning Ordinance § 24-160D.9(c)(5), subject to review and approval by the City Attorney and City staff, indicating how the development area will be included in any homeowner's association or other organization, and how any open space, community space, storm water management (SWM) facilities or amenities located within the area, will be perpetually maintained and funded prior to final site plan approval;
15. Applicant shall dedicate the "Transit Project Dedication Area" referenced in Exhibit "E" of the Agreement at the earlier of the issuance of the 500th residential building permit or approval of the final record plat for the permitted development;
16. Applicant shall place all environmentally sensitive areas and forest conservation areas under a permanent conservation easement to be recorded on record plats;
17. Applicant shall be entitled to receive an allocation of 225 building permits per year for the residential development in Neighborhoods 1, 2, and 3, during each of the first six (6) years after the date of the X-182 approved Annexation Agreement or until building permits for all of the residential units in Neighborhoods 1, 2, and 3 are issued. Any annual allocation of building permits not actually issued in any given year may be carried over into the subsequent year or years and said allocations shall be cumulative;

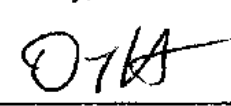
18. Construction of 80,000 square feet of commercial/retail development in Neighborhood 1 must be commenced by the issuance of the 470th building permit in Neighborhoods 2 and 3 and prior to the issuance of any single-family dwelling building permits in Neighborhood 1;
19. Prior to approval of building permits for those units delineated to be in the area greater than the 65 dba contour on the SDP-06-005 noise mitigation plan, there shall be certification by a professional engineer with competency in acoustical analysis that the building shell will attenuate current exterior noise levels to an interior level not to exceed 45 dba Ldn;
20. A written commitment signed by the builder shall be submitted assuring that the construction of the units be in accord with the engineer's specifications for those units delineated to be in the area greater than the 65 dba contour on the SDP-06-005 noise mitigation plan;
21. Applicant is to submit truck turning, traffic calming, traffic signage, and lane marking plans to create orderly and safe vehicle movement throughout the site for approval by DPWPM&E and the City of Gaithersburg Fire Marshal prior to final site plan approval;
22. Applicant shall obtain from Montgomery County, review and approval of the roadway connection permits between the Montgomery County and the City portions of Decoverly and Diamondback Drives prior to the issuance of public improvement permits;
23. Applicant is to obtain letters from PEPCO, Washington Gas, Verizon, and Comcast approving conceptual utility plans prior to subsequent SDP amendment approvals and submit final designs of any utility plans prior to the issuance of public improvement permits;

24. Applicant shall be required to obtain an amendment to SDP-06-005 for Pods 1, 4, 5 and 6, including submission of the Design Guidelines and final architecture elevations for Pods 1 and 5, prior to seeking final site plan approval for Pods 1, 4, 5 and 6.

ADOPTED by the City Council this 21st day of May, 2007.


SIDNEY A. KATZ, MAYOR and
President of the Council

THIS IS TO CERTIFY that the foregoing
Resolution was adopted by the City Council
in public meeting assembled on the 21st
day of May, 2007.


David B. Humpton, City Manager

Commissioner Kaufman moved, seconded by Commissioner Lanier, to grant AFP-07-020 - Rachel Carson Elementary School, Courtesy AMENDMENT TO FINAL PLAN APPROVAL, finding it in compliance with Zoning Ordinance §§ 24-170 and 24-172.
Vote: 5-0

V. FOREST CONSERVATION PLAN

PI-V-060023 -- Crown Farm
Fields Road

MXD Zone

**FINAL FOREST CONSERVATION PLAN AND
WILDLIFE MANAGEMENT PLAN**

Commissioner Hopkins recused himself from this review noting it could pose a conflict of interest.

Environmental Specialist Golfer provided background information associated with the Crown Farm development reviews, which included a schematic development plan (SDP-06-005) and an environmental waiver that was approved in June 2007.

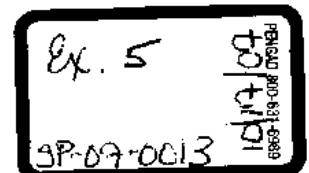
Engineer for the applicant, Dusty Rude, Rodgers Consulting, noted that these plans are the collaborative effort of The Humane Society of the United States, the City, and the applicant. He located the property and made a power point presentation outlining the features of the plans. He voiced concurrence with the staff's comments and recommended conditions.

Commissioners Kaufman and Winborne were enthusiastically supportive of the plans.

Mr. Golfer voiced staff's recommendation for approval, noting the plans meet all the approval criteria. Environmental Services Director Shingara made a clarification for Commissioner Winborne regarding in-kind compensation, as stipulated in Condition 7.

Commissioner Winborne moved, seconded by Commissioner Kaufman, to grant APPROVAL for PI-V-060023 -- Crown Farm, finding it in compliance with Zoning Ordinance Chapter 22, § 24-171, and with the Environmental Standards for Development Regulation, with the following conditions

1. Prior to obtaining a permit for clearing activities for each phase, the applicant shall receive approval of an erosion and sediment control plan from the Department of Public Works, Park Maintenance, and Engineering (DPWPM&E);
2. Prior to clearing areas within the stream valley buffer for each phase, the applicant shall receive all necessary approvals and permits from the City, Montgomery County, adjacent landowners, the U.S. Army Corps of Engineers, Washington Suburban Sanitary Commission (WSSC), and Maryland Department of the Environment;
3. The developer of residential units located adjacent to forest conservation areas shall submit a plan delineating fence locations on residential lots, fence details, and homeowner disclosure documents mandating fence maintenance



responsibilities, to be approved by staff prior to final site plan approval for each phase;

4. Prior to the issuance of building permits for each phase, the applicant shall record forest conservation and storm water management easements in the Land Records of Montgomery County;
5. Prior to the issuance of building permits for each phase, the applicant will work with staff to record a record plat, which shall contain forest conservation easements, storm water management easements, the 100-year floodplain, 25' floodplain building restriction line, wetlands, 50' wetlands buffer, and the stream valley buffer;
6. The landscaping plans for each neighborhood shall include, at a minimum, the allotted portion of the 4.6 acres of street tree/landscaping credits as outlined in the Final Forest Conservation Plan;
7. All neighborhoods (including neighborhood 6, the school site) shall comply with the Wildlife Management Plan and the forest clearing, forest conservation, and afforestation quantities outlined in the Final Forest Conservation Plan; if the applicant or their successors can present adequate justification as to why they cannot comply with these requirements, they then must amend the Final Forest Conservation Plan and the Wildlife Management Plan and provide in-kind compensation;
8. The applicant shall be required to maintain all conservation areas in accordance with the woodland restoration and invasive species management plans until such time as the conservation areas are transferred to the Homeowners Association or the City of Gaithersburg; and
9. As part of the design and implementation of the onsite stream restoration project, the applicant will work with staff to develop tree protection, tree removal, and tree replacement plans.

Vote: 4-0

VI. FROM THE COMMISSION

Commissioner Kaufman

1. Voiced his disappointment with the way local newspapers had reported on the cancellation of the Commission's June 20 regular meeting due to a lack of quorum. He pointed out that the Commissioners volunteer their time and expertise in service to the City and the community, while holding full-time jobs that require their time as well. He also pointed out that circumstances such as that on June 20 are extremely rare due to the Commissioners' dedication.

RESOLUTION NO. R-46-07

RESOLUTION OF THE MAYOR AND CITY COUNCIL
GRANTING APPROVAL OF ROAD CODE WAIVERS FOR
VARIABLE ROAD SECTIONS, RADII, INTERSECTION
SPACING AND MEDIAN BREAKS FOR
THE CROWN FARM DEVELOPMENT
SCHEMATIC DEVELOPMENT PLAN SDP-06-005

RC-37

WHEREAS, Rodgers Consulting Inc. has submitted, on behalf of Crown Village Farm, LLC, an application for road code waivers to the City of Gaithersburg requesting a waiver of road code as follows:

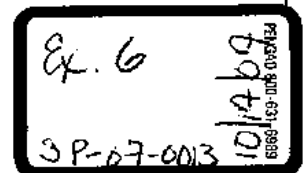
Typical Residential Street, Section 1 – Typical One Way Residential Street consisting of a 37-ft right-of-way.

	Proposed
Min. R.O.W. Width	37'
Min. Pavement Width	23'
Min. Side Width	13'
Min. Median Width	Varies
Min. C/L Radius	75'
Curb and Gutter	Yes
Sidewalk/Path	Yes (5'-6')
Parking	Yes

Typical Residential Alleys, Section 2 – Typical Residential Alleys consisting of a 25-ft private right-of-way.

	Proposed
Min. R.O.W. Width	25'
Min. Pavement Width	14** to 20'
Min. Side Width	2.5' to 5.5'
Min. Median Width	N/A
Min. C/L Radius	N/A
Curb and Gutter	Yes
Sidewalk	No
Parking	No

* Alley Pavement width of 14' only permitted when not required for fire lane or to accommodate truck turning.



Typical Residential Streets, Section 3 – Typical Residential Streets consisting of a 50-ft right-of-way.

	Proposed
Min. R.O.W. Width	50'
Min. Pavement Width	26'
Min. Side Width	12'
Min. Median Width	N/A
Min. C/L Radius	50'
Curb and Gutter	Yes
Sidewalk/Path	Yes (5' & 6'-8')
Parking	Yes

Typical Residential Streets, Section 4 – Typical Residential Streets consisting of a 60-ft right-of-way.

	Proposed
Min. R.O.W. Width	60'
Min. Pavement Width	34' (20')*
Min. Side Width	13'
Min. Median Width	N/A
Min. C/L Radius	50'
Curb and Gutter	Yes
Sidewalk/Path	Yes (5' & 5'-6')
Parking	Yes

* Pavement Width Without Parking

Notes:

1. R/W width increases to accommodate perpendicular handicapped parking spaces next to clubhouse. See perpendicular parking section 4P.

2. Road grade may slope in one direction over the existing WSSC easement.

Note: Street J subject to change per coordination with City Staff and WSSC

Perpendicular Parking Section 4P – Residential Street consisting of a 63.67-ft right-of-way.

	Proposed
Min. R.O.W. Width	63.67'
Min. Pavement Width	44'
Min. Side Width	6.67'
Min. Median Width	N/A
Min. C/L Radius	50'
Curb and Gutter	Yes
Sidewalk/Path	Yes (5' & 5')
Parking	Yes

** Pavement width with parking on one side only

Decoverly Drive (Extended) Between Fields Road and Street J Section 5 –

Decoverly Drive (Extended) is a multi lane road within a 150-ft right-of-way, designed to accommodate the future CCT.

	Proposed
Min. R.O.W. Width	150'
Min. Pavement Width	2-29' (22')*
Min. Side Width	21'
Min. Median Width	50'
Min. C/L Radius	300'
Curb and Gutter	Yes
Sidewalk/Path	Yes (5' & 8')
Parking	Yes

* Pavement Width Without Parking

Notes:

1. R/W width may increase at intersections to accommodate splitter islands at traffic circle.
2. Decoverly Drive- 2 Lanes of traffic with turn lanes as needed.

Decoverly Drive (Extended) From Street J to Existing Decoverly Drive-.

Transitional Section 5T – Decoverly Drive (Extended) is a multi lane road within a 150-ft right-of-way, designed to accommodate the future CCT.

	Proposed
Min. R.O.W. Width	150'
Min. Pavement Width	2-29' (22')*
Min. Side Width	21'
Min. Median Width	N/A
Min. CCT Width	50'
Min. C/L Radius	300'
Curb and Gutter	Yes
Sidewalk/Path	Yes (5' & 8')
Parking	Yes

* Pavement Width Without Parking

Notes:

1. Transition from existing Decoverly Drive (4 Lanes) to proposed Decoverly Drive (2 Lanes) to be accommodated in 150' R/W with CCT transitioning from the center median to the south side as shown.

Typical Residential Streets, Section 6 – Typical Residential/Commercial Streets consisting of a 74-ft right-of-way.

	Proposed
Min. R.O.W. Width	74'
Min. Pavement Width	2-17' (10')*
Min. Side Width	20'
Min. Median Width	N/A
Min. C/L Radius	50'
Curb and Gutter	Yes
Sidewalk	Yes (Varies)
Parking	Yes

* Pavement Width Without Parking

Notes:

1. Width may vary to accommodate turn lanes.
2. R/W width may increase at Street 6 & Street 7 to accommodate intersection design.

Diamondback Drive (Extended), Sections 7 and 8 – Diamondback Drive (Extended) is a multi lane road within an 80-ft right-of-way.

	Proposed
Min. R.O.W.	80'
Min. Pavement Width	2-18' (11')*
Min. Side Width	22'
Min. Median Width	N/A
Min. C/L Radius	235'
Curb and Gutter	Yes
Sidewalk	Yes
Parking	Yes

* Pavement Width Without Parking

Notes for Section 7:

1. Width may vary to accommodate turn lanes.
2. R/W width may increase at intersections to accommodate splitter islands at traffic circle.

Notes for Section 8:

1. Width may vary to accommodate turn lanes.
2. Transition from existing Diamondback Drive (4 Lanes) to proposed Diamondback Drive (2 Lanes) as shown.

Typical Residential Streets, Section 9 – Typical Residential Street consisting of a 74-ft right-of-way.

	Proposed
Min. R.O.W.	74'
Min. Pavement Width	34' (20')*
Min. Side Width	20'
Min. Median Width	N/A
Min. C/L Radius	100'
Curb and Gutter	Yes
Sidewalk/Path	Yes, (5' & 6')
Parking	Yes

* Pavement Width Without Parking

Typical Residential Streets, Section 12 – Typical Residential Street consisting of a 76-ft right-of-way.

	Proposed
Min. R.O.W.	76'
Min. Pavement Width	2-20' (13')*
Min. Side Width	13'
Min. Median Width	10'
Min. C/L Radius	50'
Curb and Gutter	Yes
Sidewalk/Path	Yes, (5' & 6')
Parking	Yes

* Pavement Width Without Parking

Private Residential Street, Section 15 – Typical Private Residential Street consisting of a 45-ft right-of-way.

	Proposed
Min. R.O.W.	45'
Min. Pavement Width	20'
Min. Side Width	12.5'
Min. Median Width	N/A
Min. C/L Radius	50'
Curb and Gutter	Yes
Sidewalk	Yes, (5' & 5')
Parking	No

WHEREAS, the Planning Commission reviewed the Crown Farm development roadway designs, which are consistent with the road code waiver requests, as part of their recommendation review of Schematic Development Plan SDP-06-005 on March 21, 2007, at which time they recommended approval of SDP-06-005 with twenty-three (23) conditions of approval; and

WHEREAS, the City Council reviewed the Crown Farm development roadway designs, which are consistent with the road code waiver requests, as part of their review and discussion of Schematic Development Plan SDP-06-005 on May 21, 2007, at which time they recommended approval of SDP-06-005 with (24) conditions of approval; and

WHEREAS, the Department of Public Works, Parks Maintenance and Engineering and the City Fire Marshal have reviewed and are amenable to the waiver requests finding that the road code waivers are similar and consistent to those granted in previous mixed-use development plans;

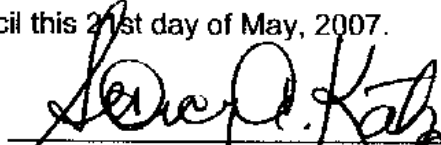
AND WHEREAS, the Applicant's engineer has submitted sufficient justification for the waiver request.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of Gaithersburg, that the Road Code Waiver RC-37 is hereby approved subject to the following conditions:

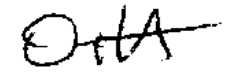
1. The Department of Public Works, Parks Maintenance and Engineering (DPWPME) and the City Fire Marshal will review the final design of the road code waiver requests and upon finding that the streets will operate safely with potential additional safety measures, will approve the final design of the road code waiver.

2. The applicant shall provide decorative crosswalks and intersections and traffic calming devices throughout the development to the reviewed and approved by DPWPME and Staff.

ADOPTED by the Mayor and City Council this 21st day of May, 2007.


SIDNEY A. KATZ, MAYOR and
President of the Council

THIS IS TO CERTIFY that the foregoing
Resolution was adopted by the City Council
in public meeting assembled on the 21st day
of May, 2007.


David B. Humpton, City Manager

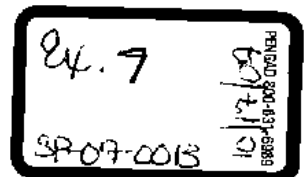
Crown Property

Proposed On-Site Road Improvements Staging Plan¹

September 21, 2006

1. *Dedication and completion of base paving of DeCoverly Drive from its existing terminus south of the Property to its intersection with proposed Street "A" by occupancy of any units in Pod 2 or Pod 3.*
2. *Dedication and completion of base paving of the balance of DeCoverly Drive to Fields Road by occupancy of any units in Pod 5.*
3. *Dedication and completion of base paving of Diamondback Drive from its southern terminus to its intersection with Street "A" by occupancy of any units in Pod 1.*
4. *Dedication and completion of base paving of the balance of Diamondback Drive to Fields Road by the occupancy of any units in Block "1C" of Pod 1.*
5. *Dedication and completion of base paving of Street "A" from boundary of Pod 3 with Pod 6 (future school site) to intersection with Diamondback Drive at earlier to occur of issuance of the 250th building permit or of that portion of Street "A" adjacent to a unit prior to occupancy of that unit in Pod 2 or Pod 3.*
6. *Dedication and completion of base paving of those portion(s) of the remaining subdivision streets and alleys adjacent to units in Pods 1, 2, 3 and 5 prior to occupancy of unit(s) in those Pods.*

¹ All requirements of Crown Village to dedicate and construct the improvements identified are subject to the provisions of Paragraph 3(a) of the August 7, 2006 Annexation Agreement.



Crown Property

Proposed Off-Site Road Improvements Staging Plan¹

November 17, 2006

- I. *Commencement of construction of, or participation in the cost of construction of, the following improvements by the issuance of the 100th residential building permit or the commencement of construction of 50,000 square feet of Commercial Retail Development, for the Permitted Development.*

1. Sam Eig Highway and Fields Road Improvements

- (a) Add third southbound left-turn lane in the median of Sam Eig Highway. Triple left turn to be approximately 500 feet long, plus a 250 - foot taper along Sam Eig Highway.
- (b) Widen eastbound Fields Road to 3 lanes from Sam Eig Highway to Rio Boulevard, a distance of approximately 1,100 feet.

2. Fields Road and Rio Boulevard Improvements^{2,3}

- (a) Install 2-lane roundabout approximately 185 feet in diameter.

3. Fields Road and Decoverly Drive Road Improvements^{2,3}

- (a) Install 2-lane roundabout approximately 185 feet in diameter.

4. Fields Road and Washingtonian Boulevard Road Improvements^{2,3}

- (a) Install 2-lane roundabout approximately 185 feet in diameter or, alternatively, a traffic signal.

5. MD 119 (Great Seneca Highway) and Sam Eig Highway Road Improvements

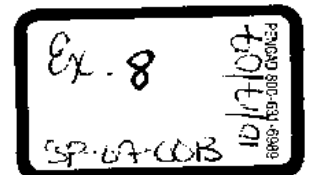
- (a) Continue auxiliary lane to Muddy Branch Road from Sam Eig Highway.
- (b) Change signalized southbound double left from Sam Eig Highway to MD 119 from a signalized double right to one free right and one signalized right.

7. Shady Grove Road and Darnestown Road Improvements

- (a) Restripe northbound right-turn lane to a thru/right turn lane.

10. MD 119 (Great Seneca Highway) and Muddy Branch Road Improvements

- (a) Add one northbound left-turn lane in the median. Left - turn lane to be approximately 180 feet long with 150 - foot taper.



Crown Property

Proposed Off-Site Road Improvements Staging Plan¹

November 13, 2006

- II. *Commencement of construction of, or participation in the cost of construction of, the following improvements by the earlier of the issuance of the 250th residential building permit or the commencement of construction of 100,000 square feet of Commercial Retail Development, for the Permitted Development.*

8. Diamondback Drive and Decoverly Drive Road Improvements

- (a) Install approximately 185 - foot diameter, 2 - lane roundabout.

11. MD 119 (Great Seneca Highway) and Decoverly Drive Road Improvements

- (a) Change westbound right-turn lane to a free right.
- (b) Add one southbound thru lane. Southbound thru lane will begin approximately 1,000 feet north of Decoverly Drive and extend to a point approximately 700 feet south of Decoverly Drive, a total distance of approximately 1,700 feet.
- (c) Extend auxiliary lane from Sam Eig Highway back to Decoverly Drive (approximately 600 feet).

- III. *Commencement of construction of, or participation in the cost of construction of, the following improvements by the issuance of the 500th residential building permit or the commencement of construction of 200,000 square feet of Commercial Retail Development, for the Permitted Development.*

6. MD 28 and Omega Drive – Medical Center Drive Road Improvements

- (a) Restripe southbound thru lane to a dedicated left-turn lane with a double left turn approximately 320 feet long with a 250 - foot taper.
- (b) Construct an approximately 250 - foot eastbound double left-turn lane with a 250 - foot taper.

9. Shady Grove Road and Corporate Drive Road Improvements

- (a) Change westbound right turn to free right.
- (b) Extend auxiliary lane from I-270 ramp southerly to Corporate Drive, approximately 300 feet.

Crown Property

Proposed Off-Site Road Improvements Staging Plan¹

November 13, 2006

12. MD 28 and Shady Grove Road Improvements

- (a) Add acceleration lane from southbound free right on Shady Grove Road. Auxiliary lane to extend to first driveway (a distance of approximately 350 feet).

¹ All requirements of Crown Village to construct or participate in construction of the improvements identified are subject to the provisions of Paragraph 4(a)(ii) of the August 7, 2006 Annexation Agreement. At the option of Crown Village, any improvement listed in the Staging Plan may be constructed in an earlier stage.

² In addition to footnote 1 above, the Fields Road Improvements are subject to the provisions of Paragraph 5 of the Annexation Agreement.

³ The Fields Road Improvements will automatically be considered as part of the next later stage if the consent and approval of Montgomery County to the 'Fields Road Improvements' cannot be obtained between Montgomery County and the City of Gaithersburg as described in Paragraph 5(a) of the Annexation Agreement by the issuance of the number of building permits that commence each listed Stage.



DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION

Isiah Leggett
County Executive

Arthur Holmes, Jr.
Director

October 1, 2007

Mr. Frederick J. Felton
Assistant City Manager
31 S. Summit Avenue
Gaithersburg, Maryland 20877

Dear Mr. Felton:

As you know, Crown Village Farm, LLC agreed to pay for engineering consulting services in an effort to expedite the review of the proposed modifications to Fields Road, in association with the Crown Farm development. A formal agreement between Crown Farm, the Department of Public Works and Transportation (DPWT), and one of our consultants was executed in June. The County team and the developers' representatives met in late July to discuss the results of the review.

The basic premise of our review was to allow for the ownership and maintenance of Fields Road and all associated appurtenances to be transferred to the City, with the road continuing to serve its purpose as an arterial, as defined in the County's Master Plan of Highway. The review focused on the portions of the Traffic Impact Analysis (TIA) and roadway plans specific to Fields Road, including the alignment options of the proposed Corridor Cities Transitway (CCT). The consultant's review also evaluated traffic operations using several traffic simulation models, i.e., Synchro, Simtraffic and Vissim. Our consultant provided a number of comments, each of which was reviewed with Crown Village Farm, LLC. After considering the findings, DPWT is comfortable with the applicant's proposal for Fields Road, including the design alternative to include the CCT in the median, with the following specific conditions:

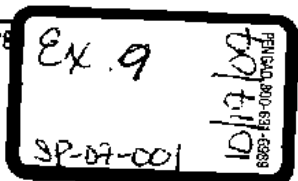
1. Provide a 30 foot typical section in locations with on-street parking,
2. Provide a 23 foot typical section in locations without on-street parking,
3. Eliminate the mid-block pedestrian crossing east of Decoverly Drive, and
4. Revise the median opening geometry opposite the proposed right-in/right-out just east of the Sam Eig Highway intersection. Construct a monolithic median between the through and left turn lanes to prohibit left turns into or out of this roadway.

For the City's use, I have attached our consultant's review summary if you feel that any of their other comments should be addressed as you continue with the review and approval process.

Office of the Director

101 Monroe Street, 10th Floor • Rockville, Maryland 20850 • 240-777-7170 • 240-777-7178
www.montgomerycountymd.gov

Located one block west of the Rockville Metro Station



Provided the City and developer accepts the above conditions, the County is willing to begin development of a Memorandum of Understanding for the transfer of Fields Road to the City. That transfer agreement will include other conditions that we have discussed previously, including but not limited to such provisions as no speed humps or traffic circles to be installed at any time on this road in the future. I should note that the County is willing to reconsider any such conditions if the master plan classification, and therefore its purpose in the County's transportation network, is changed by the County Council in the future to a classification for which these types of traffic calming features are appropriate..

I hope this letter is responsive to your request. Please feel free to contact me if you have any questions or wish to discuss further at 240-777-7185.

Sincerely,



Edgar Gonzalez, P.E.

Deputy Director for Transportation Policy

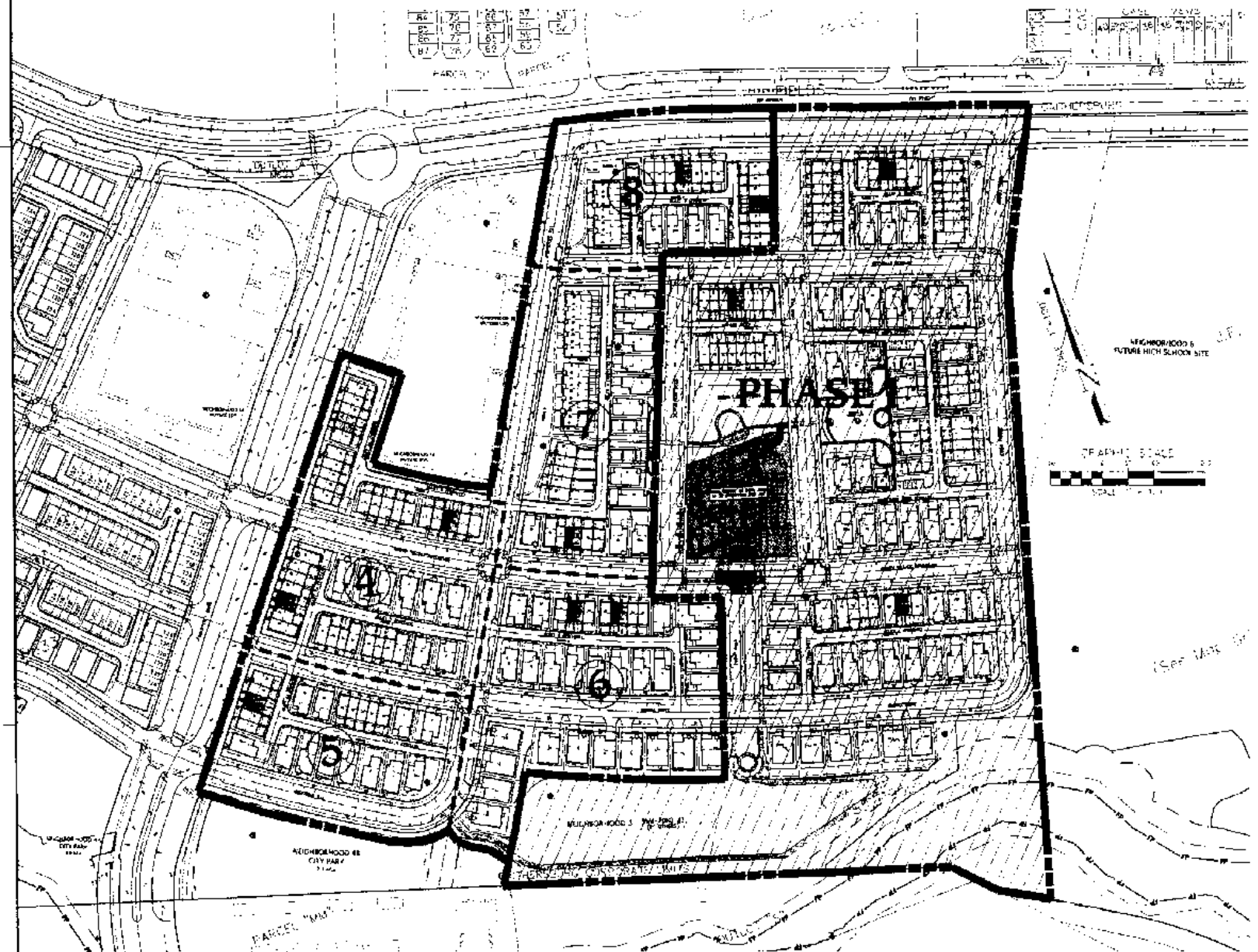
EG:lh


Attachment

cc: Arthur Holmes, Jr.

~~XXXXXXXXXXXX~~
Gary Erenrich

Rick Kiegel, MTA



 NOT INCLUDED IN PHASE 2

SHEET INDEX	SHEET INDEX (cont.)
Sheet 1: 9 to Plan Cover Sheet - 150 sheets overall plans and General Notes	Sheet 27: Sediment Control Plan - Plan View
Sheet 2: Site Plan Hooker & Detail	Sheet 28: Sediment Control Plan - Plan View
Sheet 3: Parking Detail/Entrance Plan	Sheet 29: Sediment Control Plan - Detail Sheet
Sheet 4: Site Plan - Block "A" Lots 1-122; Block "M", Lots 1-24	Sheet 30: Storm Drain Map
Sheet 5: Site Plan - Block "J" Lots 1-29	Sheet 31: Storm Drain & Paving Plan - Plan View
Sheet 6: Site Plan - Block "K", Lots 1, 11, Block "M", Lots 1-24	Sheet 32: Storm Drain & Paving Plan - Plan View
Sheet 7: Site Plan - Block "L", Lots 1-24, 2 over 2's (Paved 1)	Sheet 33: Storm Drain & Paving Plan - Profiles
Sheet 8: Site Plan - Block "M", Lots 25-48; 2 over 2's (Paved 1)	Sheet 34: Storm Drain & Paving Plan - Detail Sheet
Sheet 9: Landscaping & Planting Plans	Sheet 35: Storm Drain & Paving Plan - Detail Sheet
Sheet 10: Landscaping & Planting Plans	Sheet 36: Private Alley Grading Establishment Profiles
Sheet 11: Landscaping & Lighting Plan	Sheet 37: Street Signage & Pavement Marking Plan
Sheet 12: Landscaping & Lighting Plan	Sheet 38: Tree Utility Plan
Sheet 13: Landscaping & Lighting Plan	Sheet 40: Tree Radius Study
Sheet 14: Landscaping & Lighting Plan	Sheet 41: Traffic Calming Plan
Sheet 15: Landscaping & Lighting Plan	
Sheet 16: Landscaping & Lighting Plan	
Sheet 17: Site Details	
Sheet 18: Site Details	
Sheet 19: Site Details	
Sheet 20: Foundation Planting - J44 Typicals	
Sheet 21: Foundation Planting - J44 Typicals	
Sheet 22: Soil Plan	
Sheet 23: Street Tree Plan	
Sheet 24: Plant List & Notes	
Sheet 25: Planting Details	
Sheet 26: Sediment Control Plan - Cover Sheet	

- [illegible]

[illegible][illegible]

NEIGHBORHOOD 3 - PHASE 2
COVER SHEET-FINAL SITE PLAN
AVENTIENE
GAITHERSBURG (9TH) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

CPI Charles F. Johnson & Associates, Inc.
 6701 and University Road, TAGANIS • PARKVIEW • Leesburg, Virginia 22079
 703-769-6600 • Fax 703-769-6601 • Telex 703-769-6601 • Telex 703-769-6601

2X.10
 SP-07-0013
 FBI LABORATORY
 7/17/11
 FBI LABORATORY
 7/17/11

<u>OWNER/DEVELOPER</u>	<u>LANDSCAPE ARCHITECT</u>	<u>CIVIL ENGINEER</u>	<u>ARCHITECT</u>
KB HOME 8219 Leesburg Pike, Suite 300 Vienna, Virginia 22182 703.663.6570	LandDesign, Inc. 1414 Franco Street, Suite 400 Alexandria, VA 22314 703.649.2789	Charles F. Johnson & Associates, Inc. 1751 Elston Road Silver Spring, MD 20901 301.424.7000	Chrenkowitz, Zekas & Kuhn 888 16th Street NW, Suite 600 Washington, DC 20006 202.611.3325

PRELIMINARY- NOT FOR CONSTRUCTION

CITY OF GAITHERSBURG PLANNING COMMISSION
37 SOUTH HANLEY AVENUE, GAITHERSBURG, MARYLAND 20878

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON _____ AND DATED _____
APPLICATION NO. SP-_____ HAS GRANTED _____

FINAL SITE PLAN APPROVAL

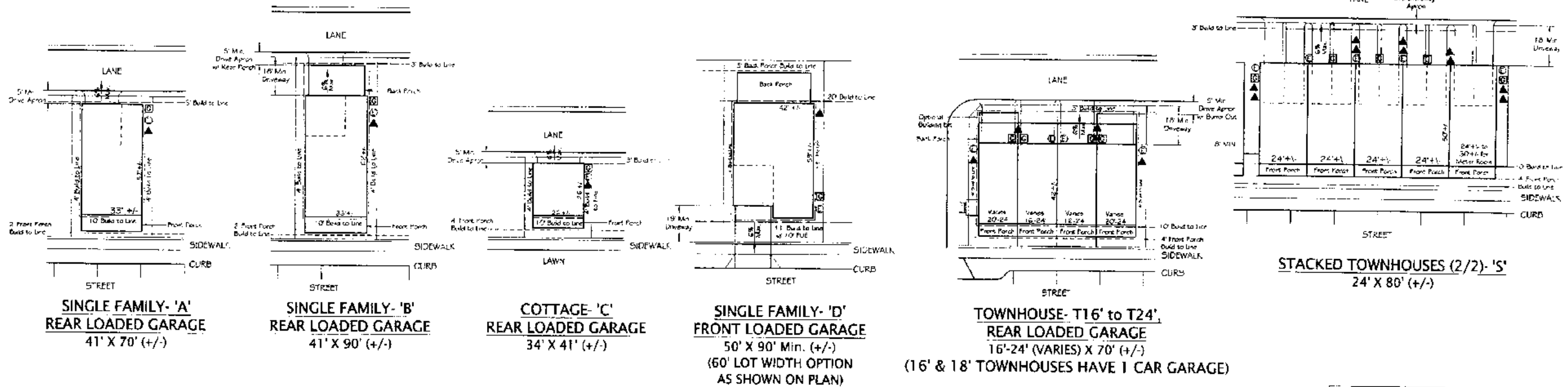
WITH _____ CONDITIONS SEE PAGE 12TH
DATE _____ BY _____

NOTE: ANY PERSONS TO BE IN THE PUBLIC MUST BE APPROVED BY THE PLANNING COMMISSION.

[illegible]

SP-07-0013

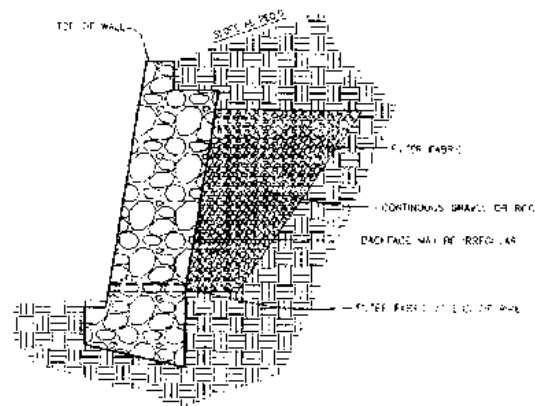
NEIGHBORHOOD 3



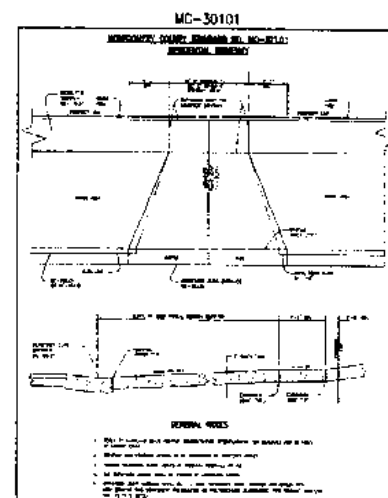
LEGEND

- ▲ HVAC
- ⊕ ELECTRIC METER
- ⊕ GAS METER

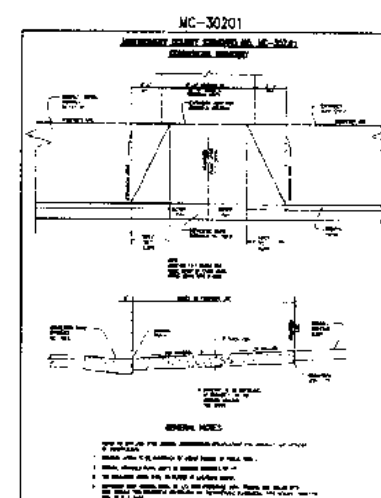
See Urban Design and Architectural Guidelines pg. 3-4 "Utilities and Mechanical Equipment" Note #5.



NATURAL STONE LANDSCAPE WALL - <2ft. ht.
N.T.S.



RESIDENTIAL DRIVEWAY
N.T.S.



ALLEY APRONS
N.T.S.

CITY OF GAITHERSBURG PLANNING COMMISSION
11 SOUTH GAITHERSBURG AVENUE, GAITHERSBURG, MARYLAND 20878

SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON APPLICATION NO. SP-07-0013

FINAL SITE PLAN APPROVAL
DATE: 11/15/07 BY: [Signature]

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE SUBMITTED TO THE PLANNING COMMISSION.

SETBACKS

Townhouses (2/2)
Front - 10' for main building
Side - 4' for front porch
Rear - 3'

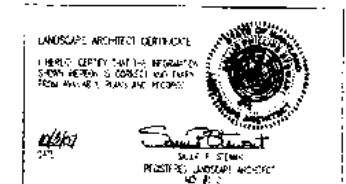
Single Family - Rear Load
Front - 10' for main building
Side - 4' for front porch
Rear - 3'

Single Family - Front Load
Front - 10' for main building
Side - 4' for front porch
Rear - 3'

Cottage Units
Front - 10' for main building
Side - 4' for front porch
Rear - 3'

SCALE: 1" = 20'

SP-07-0013



NEIGHBORHOOD 3 - PHASE 2
NOTES & DETAILS
AVENTIENE
GAITHERSBURG (9TH) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

CPI Charles P. Johnson & Associates, Inc.
Civil and Environmental Engineers, Landscape Architects, Surveyors
10000 WOODBURN AVENUE, SUITE 100, WOODBURN, MD 21791-4141

Ex. 11

SP-07-0013

REVISIONS

NO.	DATE	DESCRIPTION
1	11/15/07	Initial Design
2	11/15/07	Final Design

BLOCK S - PHASE 2				
	13 SF	11 TH	20 2/2	
	x2	x2.5	x2	TOTAL
PARKING REQUIRED	26	28	40	94
PARKING PROVIDED				
GARAGE	26	9.5	20	55.5
DRIVEWAY	16	17	20	54
ON-STREET				49
TOTAL PROVIDED	42	27.5	40	109.5
TOTAL SURPLUS				49

BLOCK R - PHASE 2				
	5 SF	16 TH	10 2/2	
	x2	x2.5	x2	TOTAL
PARKING REQUIRED	10	40	20	70
PARKING PROVIDED				
GARAGE	10	14	10	34
DRIVEWAY	8	28	10	46
ON-STREET*				16
TOTAL PROVIDED	18	42	20	80
TOTAL SURPLUS				10

BLOCK Q - PHASE 2			
	22 TH		TOTAL
	x2.5		55
PARKING REQUIRED	35		
PARKING PROVIDED			
GARAGE	20	20	
DRIVEWAY	40	40	
ON-STREET*			16
TOTAL PROVIDED	60		76
TOTAL SURPLUS			15

BLOCK P - PHASE 2			
	8 SF	16 TH	
	x2	x2.5	TOTAL
	16	40	56
PARKING REQUIRED			
PARKING PROVIDED			
GARAGE	16	14	30
DRIVEWAY	12	18	30
ON-STREET*			27
TOTAL PROVIDED	28	32	60
TOTAL SURPLUS			27

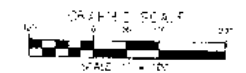
BLOCK Q - PHASE 2			
	12 SF	11 TH	
	x2	x2.5	TOTAL
	24	28	52
PARKING REQUIRED			
PARKING PROVIDED			
GARAGE	24	10	34
DRIVEWAY	14	20	34
ON-STREET*			52
TOTAL PROVIDED	38	30	68
TOTAL SURPLUS			52

BLOCK X - PHASE 2			
	11 SF		TOTAL
	x2		22
PARKING REQUIRED	22		
PARKING PROVIDED			
GARAGE	22	22	
DRIVEWAY	22	22	
ON-STREET*			3
TOTAL PROVIDED	44	44	
TOTAL SURPLUS			3

BLOCK V - PHASE 2			
	15 SF	9 TH	
	x2	x2.5	TOTAL
	30	23	53
PARKING REQUIRED			
PARKING PROVIDED			
GARAGE	30	7	37
DRIVEWAY	18	14	32
ON-STREET			27
TOTAL PROVIDED	48	21	69
TOTAL SURPLUS			27

PARKING SUMMARY				
PARKING PROVIDED - PHASE 1				
Garage	100 units	125 SF		125
Driveway	0 units	0 SF		0
On-Street	4 units	24 SF		4
SP 1A	10 units	20 SF		10
SP 1B	20 units	40 SF		20
SP 1C	6 units	12 SF		6
TOTAL PROVIDED	140 units	171 SF		140
PARKING PROVIDED - PHASE 2				
Garage	60 units	75 SF		75
Driveway	0 units	0 SF		0
On-Street	4 units	24 SF		4
SP 1A	10 units	20 SF		10
SP 1B	20 units	40 SF		20
SP 1C	6 units	12 SF		6
TOTAL PROVIDED	100 units	121 SF		100
PARKING REQUIRED - PHASE 1				
Garage	100 units	125 SF		125
Driveway	0 units	0 SF		0
On-Street	4 units	24 SF		4
SP 1A	10 units	20 SF		10
SP 1B	20 units	40 SF		20
SP 1C	6 units	12 SF		6
TOTAL REQUIRED	140 units	171 SF		140
PARKING REQUIRED - PHASE 2				
Garage	60 units	75 SF		75
Driveway	0 units	0 SF		0
On-Street	4 units	24 SF		4
SP 1A	10 units	20 SF		10
SP 1B	20 units	40 SF		20
SP 1C	6 units	12 SF		6
TOTAL REQUIRED	100 units	121 SF		100
PARKING PROVIDED - PHASE 3				
Garage	40 units	50 SF		50
Driveway	0 units	0 SF		0
On-Street	4 units	24 SF		4
SP 1A	10 units	20 SF		10
SP 1B	20 units	40 SF		20
SP 1C	6 units	12 SF		6
TOTAL PROVIDED	80 units	106 SF		80
PARKING REQUIRED - PHASE 3				
Garage	40 units	50 SF		50
Driveway	0 units	0 SF		0
On-Street	4 units	24 SF		4
SP 1A	10 units	20 SF		10
SP 1B	20 units	40 SF		20
SP 1C	6 units	12 SF		6
TOTAL REQUIRED	80 units	106 SF		80
PARKING PROVIDED - PHASE 4				
Garage	40 units	50 SF		50
Driveway	0 units	0 SF		0
On-Street	4 units	24 SF		4
SP 1A	10 units	20 SF		10
SP 1B	20 units	40 SF		20
SP 1C	6 units	12 SF		6
TOTAL PROVIDED	80 units	106 SF		80
PARKING REQUIRED - PHASE 4				
Garage	40 units	50 SF		50
Driveway	0 units	0 SF		0
On-Street	4 units	24 SF		4
SP 1A	10 units	20 SF		10
SP 1B	20 units	40 SF		20
SP 1C	6 units	12 SF		6
TOTAL REQUIRED	80 units	106 SF		80

NOTE:
1. TOTAL SURPLUS COUNTS DO NOT INCLUDE SPACES IN SINGLE FAMILY DRIVEWAYS.
2. *ON-STREET TOTALS DO NOT INCLUDE SPACES ALONG FIELD ROADS OR DISCOVERY DRIVE.

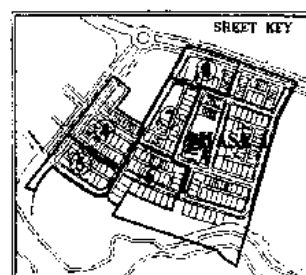
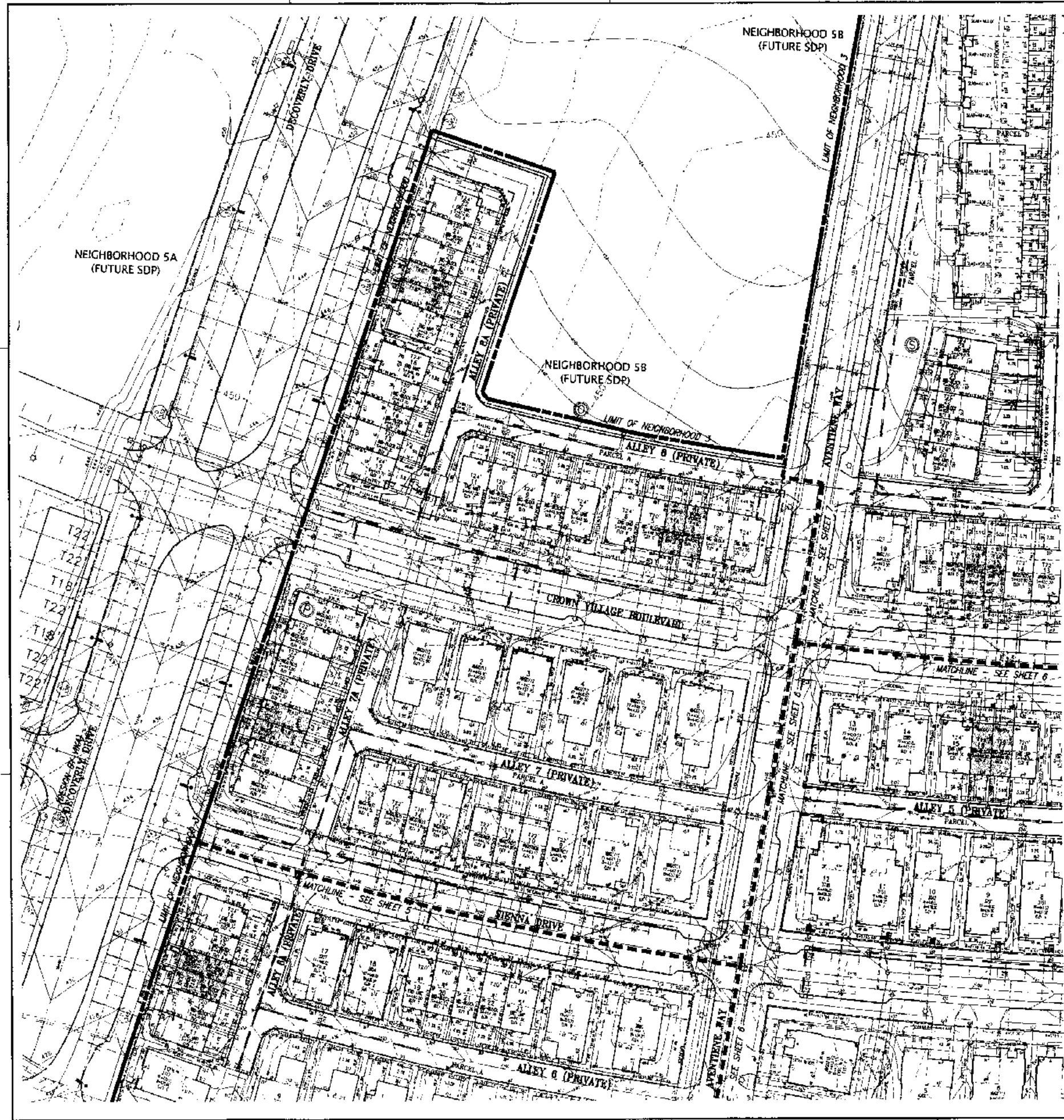


CITY OF GAITHERSBURG PLANNING COMMISSION
21 MONTGOMERY AVENUE, GAITHERSBURG, MARYLAND 20878
SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION, MAY 11, 2011.
COMMISSIONER: SP7
FINAL SITE PLAN APPROVAL
DATE: 5/11/2011 BY: COMMISSIONER SP7
NOTE: ANY REVISIONS TO THIS PLAN MUST BE APPROVED BY THE PLANNING COMMISSION.

CITY OF GAITHERSBURG
DEPARTMENT OF PLANNING
FINAL APPROVAL
DATE: 5/11/2011 BY: COMMISSIONER SP7

PROJECT/SUBJECT		DATE	
NEIGHBORHOOD 3 - PHASE 2 PARKING DISTRIBUTION PLAN		5/11/2011	
AVENTIENE GAITHERSBURG (9TH) ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND		5/11/2011	
CPI Charles P. Johnson & Associates, Inc. 4700 and 21st Avenue, Suite 100, Gaithersburg, MD 20878 TEL: 301-996-1111 FAX: 301-996-1112 WWW.CPI-INC.COM		DATE: 5/11/2011 BY: COMMISSIONER SP7	
PROJECT NO. SP-07-0013		SHEET 3 OF 41	
FILE NO. SP-07-0013		DATE: 5/11/2011 BY: COMMISSIONER SP7	

SP-07-0013



SECTION

Townhouses (all):
 Front - 10' for main
 Side - 4' for front porch
 Rear - 3'
 Single Family - Rear Load
 Front - 10' for main building
 Side - 2' for front porch
 Side - 4'
 Rear - 3'
 Single Family - Front Load
 Front - 11' without FUC
 Side - 4'
 Rear - 20' for main building
 5' for rear porch
 Cottage Units:
 Front - 10' for main
 Side - 4' for porch
 Side - 4'
 Rear - 3'
 2 over 20:
 Front - 5'
 Side - 4'
 Rear - 3'

ALLEY TOWNHOUSE SCREENS
 THESE SHALL BE TO SCREEN WALL/LANDSCAPE
 TREATMENT. REFER TO LANDSCAPE PLANS FOR TYPICAL
 SCREEN TREATMENTS TO BE USED (1-10). SPECIFIC SCREEN
 TREATMENT TO BE DETERMINED AT TIME OF FINAL RESITE/
 PERMIT.

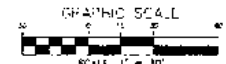
- Notes:**
1. See landscape plans for landscape fence & wall details
 2. See landscape plans for special paving

FOCAL POINT LOTS: see Architectural Guidelines pg. 1-7
 * Indicates units that must have predominantly pedestrian-friendly facades. (Per SDP-06-005 approval)

HIGH VISIBILITY LOTS: see Architectural Guidelines pg. 1-7
 * Indicates Corner Lots on 2 streets that shall be embellished with wrap-around porches/stoops, Bay Windows or other architectural treatments. (Per SDP-06-005 approval)

LEGEND:

	LOT/USE or Work Force Unit		SPECIAL PAVING see Landscape Plan for Details
	Driveway		SPECIAL PAVING CROSSWALK see Landscape Plan for Details
	Storm Drain		STRIPED CROSSWALK
	Fire Hydrant		ENTRY FEATURE see Landscape Plan for Details
	Street Marker		
	Street Light A see Landscape Plan		
	Street Light B see Landscape Plan		
	Street Light C see Landscape Plan		
	Street Light D see Landscape Plan		



CITY OF GAITHERSBURG PLANNING COMMISSION
 31 BOLT CLAMPTOWN ROAD, GAITHERSBURG, MARYLAND 20878
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON:
 DATE: 10/13/07
 BY: [Signature]
FINAL SITE PLAN APPROVAL
 DATE: 10/13/07
 BY: [Signature]
NOTE: ANY PROVISIONS TO BE ADDED TO THIS PLAN MUST BE APPROVED BY THE PLANNING COMMISSION.

CITY OF GAITHERSBURG
 DEPARTMENT OF PUBLIC WORKS
 PARK MAINTENANCE AND ENGINEERING
FINAL APPROVAL
 DATE: 10/13/07
 BY: [Signature]

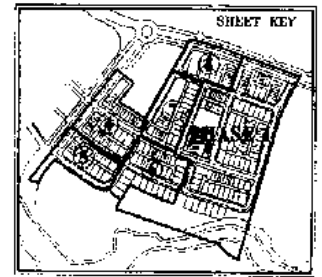
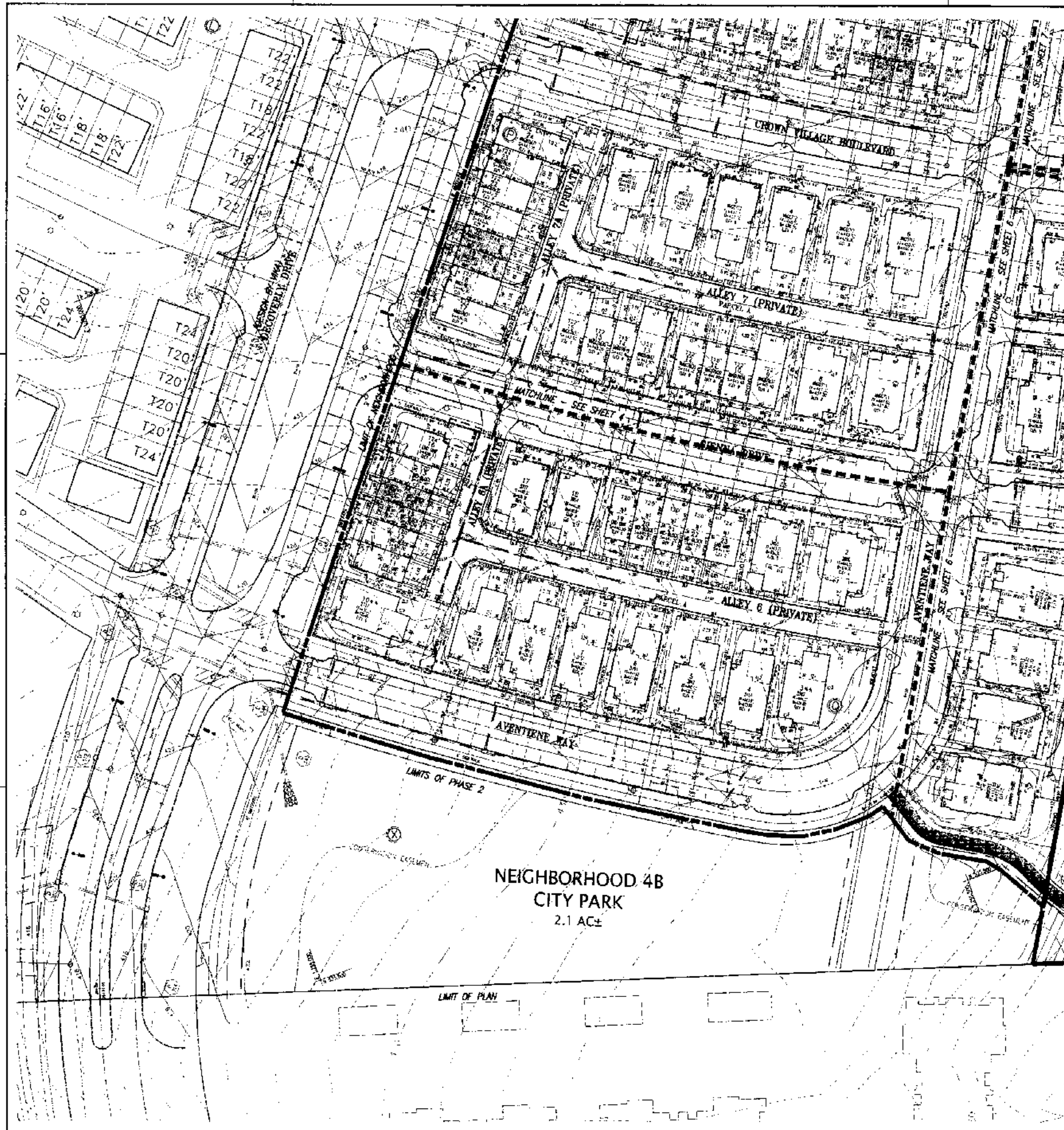
LANDSCAPE ARCHITECT: [Signature]
 DATE: 10/13/07
 SCALE: 1" = 30'
 PROJECT: SP-07-0013
 SHEET: 13 OF 14

**NEIGHBORHOOD 3 - PHASE 2
 FINAL SITE PLAN
 AVENTIENE
 (9TH) ELECTION DISTRICT
 CITY OF GAITHERSBURG, MARYLAND**

CPJ Charles P. Johnson & Associates, Inc.
 10000 WOODBRIDGE DRIVE, SUITE 100, WOODBRIDGE, VA 22191
 (703) 595-1000 FAX (703) 595-1001
 WWW.CPJ-VA.COM

NO.	DATE	DESCRIPTION
1	10/13/07	FINAL SITE PLAN
2	10/13/07	FINAL SITE PLAN
3	10/13/07	FINAL SITE PLAN
4	10/13/07	FINAL SITE PLAN
5	10/13/07	FINAL SITE PLAN
6	10/13/07	FINAL SITE PLAN
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97	10/13/07	FINAL SITE PLAN
98	10/13/07	FINAL SITE PLAN
99	10/13/07	FINAL SITE PLAN
100	10/13/07	FINAL SITE PLAN

PRELIMINARY - NOT FOR CONSTRUCTION



SETBACKS
Townhouses (all):
Front - 10' for main
Side - 4' for front porch
Rear - 3'
Single Family - Rear Lot:
Front - 10' for main building
Side - 4'
Rear - 5'
Single Family - Front Lot:
Front - 11' without PUE
Side - 4'
Rear - 20' for main building
Side - 5' for rear porch
Cottage Units:
Front - 10' for main
Side - 4' for porch
Rear - 3'
2 over 2's:
Front - 5'
Side - 4'
Rear - 3'

ALLEY TOWNHOUSE SCREENS
THESE AREAS ARE TO RECEIVE WALL / LANDSCAPE TREATMENT. REFER TO LANDSCAPE PLANS FOR TYPICAL SCREEN TREATMENTS TO BE USED (L-16). SCREENING SCREEN TREATMENT TO BE DETERMINED AT TIME OF FINAL RESITE / PERMIT.

- Notes:**
1. See landscape plans for landscape fence & wall details.
2. See landscape plans for special paving.
- LOCAL POINTS LOTS:** non Architectural Guidelines pg. 1-7
* Indicates walls that must have permanently built-in screen treatment. (Per SOP-06-005 approval)
- HIGH VISIBILITY LOTS:** see Architectural Guidelines pg. 1-7
* Indicates Corner Lots on 2 streets that shall be embellished with wrap-around porches/decks, bay windows or other architectural embellishments. (Per SOP-06-005 approval)

LEGEND:

	10' or less Front Yard		SPECIAL PAVES see Landscape Plans for Details
	Screen Fence see Landscape Plans		SPECIAL PAVES CROSSWALK see Landscape Plans for Details
	Storm Drain		STREET CLOSURE
	Fire Hydrant		DRIVE PAVES see Landscape Plans for Details
	Sewer Main		
	Street Light A see Landscape Plans		
	Street Light B see Landscape Plans		
	Street Light C see Landscape Plans		
	Street Light D see Landscape Plans		

CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH BROADWAY, GAITHERSBURG, MARYLAND 20878

SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON:

DATE: 11/08/2013 BY: [Signature] SEE AS-A-LETTEN

NOTE: ANY APPROVALS TO THIS PLAN MUST BE REVIEWED BY THE PLANNING COMMISSION

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
NORTH MOUNTAIN, AND TERRACE

FINAL APPROVAL

DATE: 11/08/2013 BY: [Signature]

LANDSCAPE ARCHITECT CERTIFICATE
I HEREBY CERTIFY THAT THE INFORMATION
SUBMITTED HEREON IS CORRECT AND THAT
I AM A LICENSED LANDSCAPE ARCHITECT

[Signature]
DATE: 11/08/2013

SP-07-0013

UPDATES/REVISIONS:

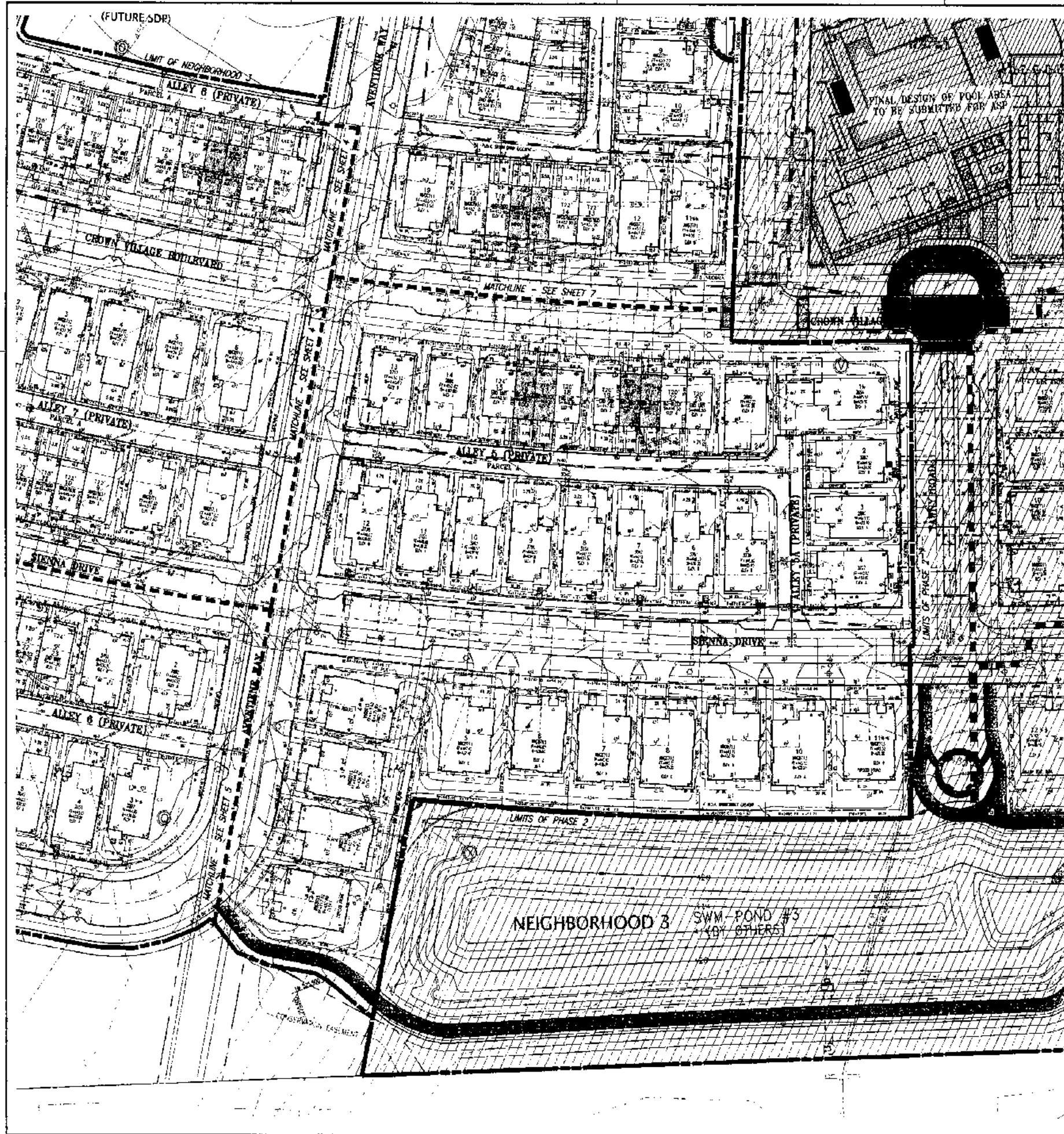
NO.	DATE	DESCRIPTION
1	11/08/2013	ISSUED FOR PERMIT

**NEIGHBORHOOD 3 - PHASE 2
FINAL SITE PLAN
AVENTINE
(9TH) ELECTION DISTRICT
CITY OF GAITHERSBURG, MARYLAND**

CPI Charles F. Johnson & Associates, Inc.
Professional Engineer / Planner / Landscape Architect / Surveyor
10000 ROUTE 100, SUITE 100, GAITHERSBURG, MD 20878
TEL: 301-261-1100 FAX: 301-261-1101

ax. 14
SP-07-0013

NO.	DATE	DESCRIPTION
1	11/08/2013	ISSUED FOR PERMIT



PRELIMINARY- NOT FOR CONSTRUCTION



SCHEDULE

Townhouses (all)	Front - 10' for main
	Side - 4' for front porch
	Rear - 5'
Single Family - Rear Load	Front - 10' for main building
	Side - 4' for front porch
	Rear - 5'
Single Family - Front Load	Front - 11' without PUE
	Side - 4'
	Rear - 20' for main building
	Side - 4' for rear porch
Cottage Units	Front - 10' for main
	Side - 4' for porch
	Rear - 5'
2 over 25'	Front - 5'
	Side - 4'
	Rear - 5'

ALLEY TOWNHOUSE SCREENS
THESE AREAS ARE TO RECEIVE WALL / LANDSCAPE TREATMENT. REFER TO LANDSCAPE PLANS FOR TYPICAL SCREEN TREATMENTS TO BE USED (1-10). SPECIFIC SCREEN TREATMENT TO BE DETERMINED AT TIME OF FINAL REVIEW / PERMIT.

NOTES

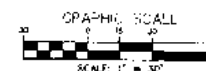
- See landscape plans for landscape fence & wall details.
- See landscape plans for special paving.

FOCAL POINTS LOTS: see Architectural Guidelines pg. 1-7
* Indicates units that must have predominantly brick/masonry facades. (Per SOP-06-005 approval)

HIGH VISIBILITY LOTS: see Architectural Guidelines pg. 1-7
* Indicates Corner Lots on 2 streets that shall be embellished with wrap-around porches/windows, bay windows or other architectural enhancements. (Per SOP-06-005 approval)

LEGEND

IMPAS or 40'x40' Paved Area	Special Pavers see Landscape Plans for Details
Scaling Gravel see Landscape Plans	SPECIAL PAVED CROSSWALK see Landscape Plans for Details
Storm Drain Inlet	STREET CROSSWALK
Fire Hydrant	STREET PLANTING see Landscape Plans for Details
Street Marking	
Street Light A see Landscape Plans	
Street Light B see Landscape Plans	
Street Light C see Landscape Plans	
Street Light D see Landscape Plans	



CITY OF GAITHERSBURG PLANNING COMMISSION
11 SOUTH BAYVIEW AVENUE, GAITHERSBURG, MARYLAND 20878

SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON: SEP 10, 2007 AND FORWARDED TO THE CITY COUNCIL ON: SEP 10, 2007

DATE: SEP 10, 2007

NOTE: ANY REVISIONS TO THIS SITE PLAN MUST BE REVIEWED BY THE PLANNING COMMISSION.

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
FARM MANAGEMENT, AND CONSTRUCTION

FINAL APPROVAL

DATE: SEP 10, 2007

LANDSCAPE ARCHITECT CERTIFICATE
I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND TRUTHFUL AND THAT I AM A LICENSED LANDSCAPE ARCHITECT IN THE STATE OF MARYLAND.

SEP 10, 2007
DATE

Charles P. Johnson
SALE P. STAMP
REGISTERED LANDSCAPE ARCHITECT
NO. 1000

SP-07-0013

NEIGHBORHOOD 3 - PHASE 2
FINAL SITE PLAN
AVENTIENE
(9TH) ELECTION DISTRICT
CITY OF GAITHERSBURG, MARYLAND

CPI Charles P. Johnson & Associates, Inc.
Civil and Mechanical Engineers - Planners - Landscape Architects - Surveyors
10000 WOODBRIDGE DRIVE, SUITE 100, GREENBELT, MARYLAND 20814-4400
TEL: 301-441-1000 FAX: 301-441-1001

PROJECT NO. SP-07-0013

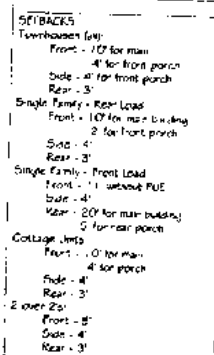
DATE: SEP 10, 2007

FILE NO. SP-07-0013

41
58
FILE NO.

Ex. 15
SP-07-0013

SECRET

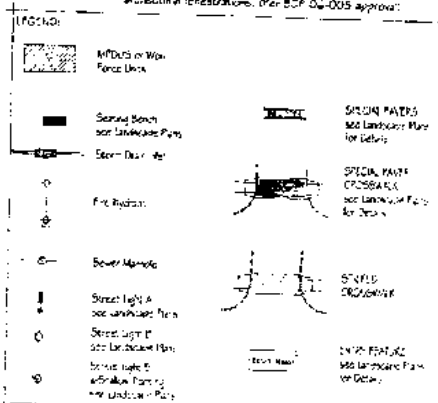


Notes:

1. See underside plans for landscape fence & wall details
2. See landscape plans for special paving

* Indicates units that must have professionally brickmasonry facades. (Per SFP-06-005 amendment)

* Indicate Corner Lots on 2 tracts that shall be enclosed with wrap around fences, Bay Window or other architectural treatments. (Per BCP 04-005 approval)



SCALE
1" = 10'

CITY OF GAITHERSBURG PLANNING COMMISSION
31201 BOWEN LANE, SUITE 200, GAITHERSBURG, MARYLAND 20878

SITE PLAN APPROVAL

AT THE MONTHLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON _____, 2013

APPLICATION NO. SP-_____ PLAT GRANTED

FINAL SITE PLAN APPROVAL

APPROVED _____ : 1. CONDITIONS 2. BILL OF LITIGATION

DATE _____ BY _____

NOTE - ANY PERSONS TO BEING PLANNED OR BEING SERVED BY THE PLANNING COMMISSION

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
P.A.S. MAINTENANCE, AND FIRE/ARREST

FINAL APPROVAL

DATE _____
BY _____

ANALYST: ARTHUR L. GIBBS JR.
LABORATORY: U.S. DEPT. OF JUSTICE
DIVISION: CHEMISTRY
SECTION: ANALYTICAL



SP-07-0013

NEIGHBORHOOD 3 - PHASE 2
FINAL SITE PLAN
AVENTIENE
(9TH) ELECTION DISTRICT
CITY OF GAITHERSBURG, MARYLAND

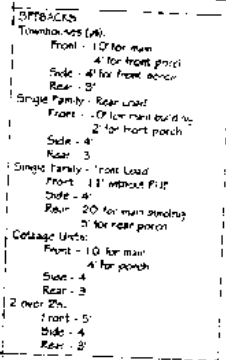
CPI Charles P. Johnson & Associates, Inc.
 10000 Wilshire Blvd., Suite 1000, Los Angeles, CA 90024
 (213) 776-1000

Ex. 16

SP-07-0013

PENGAD-800-631-6989
607.191

DATE		TIME PLAN	
		ST-00-00	
SHEET		OF	
7		41	
PAGE	57	OF	58
FILE NO.		NO IN-2	















ALFIP TOWNHOUSE SCREENS
THESE AREAS ARE TO RECEIVE WALL / LANDSCAPE
TREATMENT. REFER TO LANDSCAPE PLANS FOR TYPICAL
SCREEN TREATMENTS TO BE USED (A-10). SPECIFIC SCREEN
TREATMENT TO BE DETERMINED AT TIME OF FINAL REVIEW /
PERMIT

- Notes:
1. See Landscape plans for landscape fence & wall details
 2. See landscape plans for sidewalk paving

* Indicates units that must have predominantly brick/masonry facades. (Per SDP DG-005 approval)

* * Indicates Corner Lots on 2 streets that shall be embellished with wrap-around porches/decks, Bay Windows or other architectural treatments. (Per 5th Ord./CO's Approval)

LEGEND.

- | | | | |
|---|--|---|--|
|  | <p>WIPES OR HOT FORCE LINE</p> |  | <p>SPECIAL PATCHES
AND LAMINATE PATCHES
FOR DETAIL</p> |
|  | <p>SECOND LAYER
AND LAMINATE PATCHES</p> |  | <p>SPECIAL PATCHES
AND LAMINATE PATCHES
FOR DETAIL</p> |
|  | <p>THIRD LAYER</p> |  | <p>SPECIAL PATCHES
AND LAMINATE PATCHES
FOR DETAIL</p> |
|  | <p>DETAILED METHOD</p> |  | <p>SHOULDER
CROSSHAIR</p> |
|  | <p>SHOULDER LAYER A
AND LAMINATE PATCHES</p> |  | <p>INTERFERENCE
AND LAMINATE PATCHES
FOR DETAIL</p> |
|  | <p>SHOULDER LAYER B
AND LAMINATE PATCHES</p> |  | <p>INTERFERENCE
AND LAMINATE PATCHES
FOR DETAIL</p> |

CITY OF GAITHERSBURG PLANNING COMMISSION
315015 SOUTH AVENUE, GAITHERSBURG, MARYLAND 20878

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETINGS OF THE PLANNING COMMISSION ON JULY 12, 1995

APPLICATION NO. SP-1 AND GRANTED

FINAL SITE PLAN APPROVAL

APPROVED BY: 3 COMMISSIONERS DESIGNED BY: DATE

NOTE: ANY REVISIONS TO ABOVE PLAN MUST BE APPROVED BY THE PLANNING STAFF BEFORE

CITY OF BATHING SPRING
DEPARTMENT OF PUBLIC WORKS
PAVEMENT MAINTENANCE AND ENGINEERING
FINAL APPROVAL
DATE _____
BY _____

LANDSCAPE ARCHITECT CERTIFICATE
 ARCHITECT: _____
 SCALE: 1/8" = 1'-0" (SEE PLAN)
 PROJECT: LANDSCAPE ARCHITECTURE
 DATE: _____
 SIGNED: _____
 SEAL: _____
 REGISTERED LANDSCAPE ARCHITECT
 NO. 1234

SP-07-0013

NEIGHBORHOOD 3 - PHASE 2
FINAL SITE PLAN
AVENTIENE
(9TH) ELECTION DISTRICT
CITY OF GAITHERSBURG, MARYLAND

[illegible]

AVENTIENE

NEIGHBORHOOD 3 FINAL SITE PLAN

PHASE 2

LANDSCAPE/HARDSCAPE PLANS

CITY OF GAITHERSBURG, MARYLAND
AUGUST 24, 2007

SP-07-0013

OWNER/DEVELOPER Crown Village Farm, LLC
c/o KB Home
8219 Leesburg Pike, Suite 300
Vienna, Virginia 22182
703.663.6570

LANDSCAPE ARCHITECT LandDesign, Inc.
200 South Peyton Street
Alexandria, VA 22314
703.549.7784

CIVIL ENGINEER Charles P. Johnson & Associates, Inc.
1751 Elton Road
Silver Spring, Maryland 20903
301.434.7000

ARCHITECT Ehrenkrantz, Eckstut & Kuhn
888 16th Street NW Suite 800
Washington, DC 20006
202.861.1325

SHEET INDEX:		DATE:
L-09	Cover Sheet	--
L-10	Key Plan	--
L-11	Landscape and Lighting Plan	--
L-12	Landscape and Lighting Plan	--
L-13	Landscape and Lighting Plan	--
L-14	Landscape and Lighting Plan	--
L-15	Landscape and Lighting Plan	--
L-16	Landscape Enlargement Plan	--
L-17	Site Details	--
L-18	Site Details	--
L-19	Site Details	--
L-20	Foundation Planting Unit Typical	--
L-21	Foundation Planting Unit Typical	--
L-22	Sod Plan	--
L-23	Street Tree Plan	--
L-24	Plant List and Notes	--
L-25	Planting Details	--

REVISION:	DATE:
Revision 1 - City Comments	9/19/07
Revision 2 - City Comments	9/27/07
Revision 3 - City Comments	10/05/07

CITY OF GAITHERSBURG PLANNING COMMISSION
21 SOUTH BLAINE AVENUE, GAITHERSBURG, MARYLAND 20878

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON

APPLICATION NO. SP-07-0013 DATE GRANTED

FINAL SITE PLAN APPROVAL

DATE BY

NOTE: ANY REVISIONS TO PERMITTED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

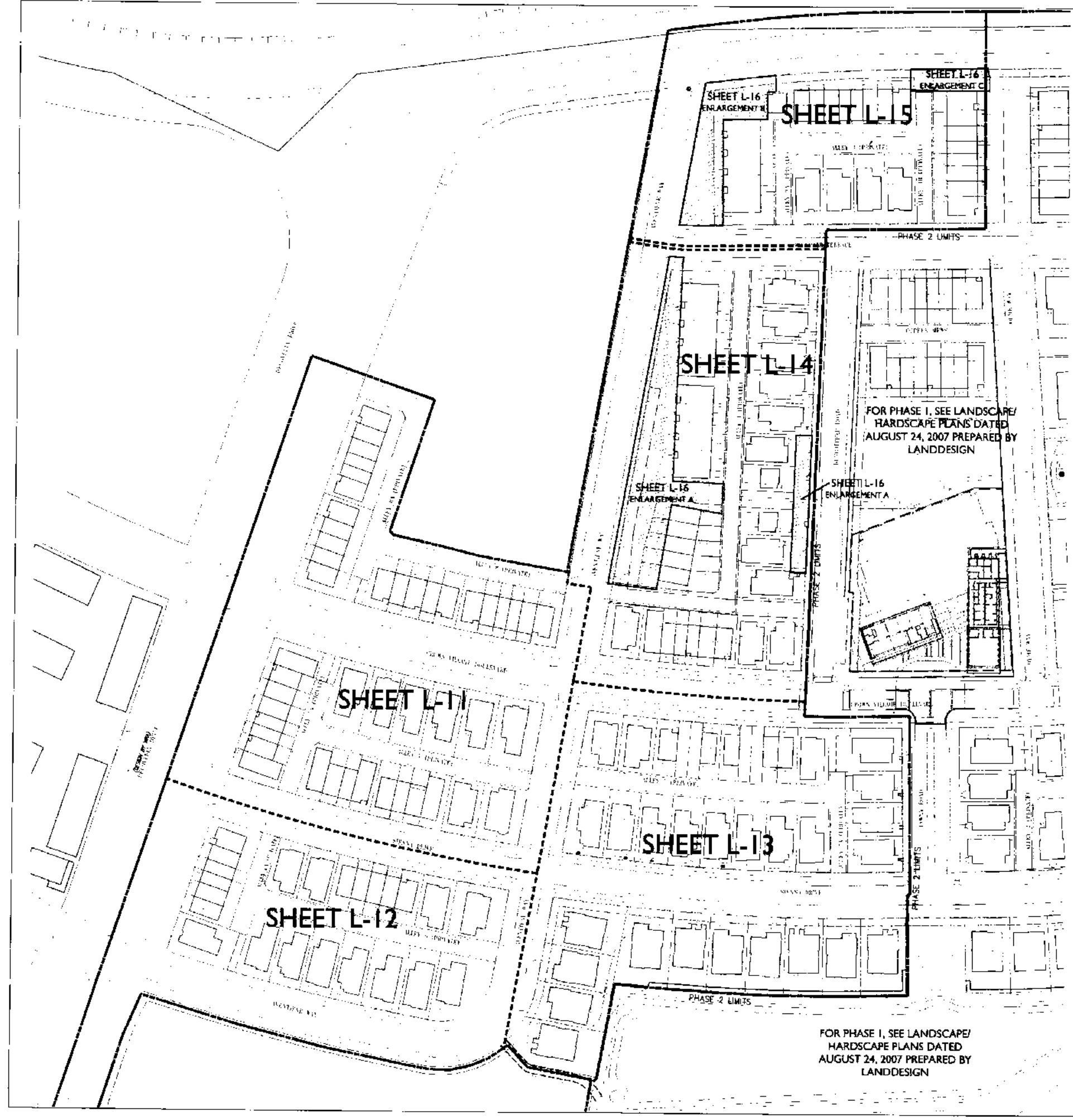
CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
21 SOUTH BLAINE AVENUE, GAITHERSBURG, MARYLAND 20878

EX-18

SP-07-0013

10/17/07

PERMITS 900-531-8888



BASE INFORMATION INCLUDING TOPOGRAPHY, EXISTING UTILITIES, EXISTING IMPROVEMENTS AND EXISTING BUILDINGS TO BE REMOVED.

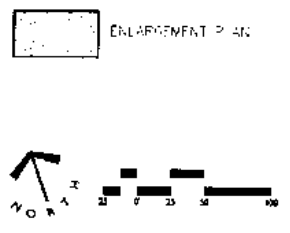
CHARLES R. JOHNSON & ASSOCIATES, INC.
 12241 Greenway Blvd., Suite 200, Greenbelt, MD 20770
 TEL: 410-209-1000 FAX: 410-209-1001
 DATED: MAY 24, 2007

POWERS CONSULTING
 12241 Greenway Blvd., Suite 200, Greenbelt, MD 20770
 TEL: 410-209-1000 FAX: 410-209-1001
 DATED: MARCH 11, 2007 AND MAY 24, 2007

- GENERAL NOTES:
1. PLANTING SHALL BE DONE AT 10% OF THE TOTAL AREA OF THE SITE THAT HAVE AN OCCUPIED SWELLING.
 2. UNLESS OTHERWISE SPECIFIED BY THE REQUIREMENTS OF THIS MANUAL, THE LANDSCAPING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF LANDSCAPE SPECIFICATIONS, DEVELOPED BY THE MD DCA CHAPTER OF THE LANDSCAPE CONTRACTORS ASSOCIATION.
 3. ALL TREES ARE TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM ALL ADJACENT PROPERTIES, 10 FEET FROM A SIDEWALK DRAIN INLET TO A HOLE, 10 FEET FROM A FIRE HYDRANT, 10 FEET FROM A STREET LIGHT, 10 FEET FROM A CHIMNEY, 10 FEET FROM A FENCE, 10 FEET FROM A DRIVEWAY, AND AT LEAST 10 FEET FROM ANY INTERSECTION.
 4. LOCATIONS OF STREET TREES MAY BE SUBJECT TO CHANGE IN ORDER TO AVOID CONFLICT WITH STREET LIGHTING.
 5. ANY PLANTING WITHIN A FOREST CONSERVATION AREA AS DESIGNATED ON THE FOREST CONSERVATION PLAN AND SHOWN ON THIS PLAN MUST BE DONE TO AVOID ANY ADVERSE IMPACT TO THE FOREST OR EXISTING TREES.
 6. PLANTING SHALL BE DONE BY THE INSTALLATION OF A SEEDING MIXTURE ALLOWED IN FIELD.
 7. ALL PLANT MATERIALS WILL BE FURNISHED FOR SEEDING BY THE PLANNING AND CODE ADMINISTRATION ONE YEAR FOLLOWING INSTALLATION. A 10 PERCENT MAINTENANCE BOND WILL BE REQUIRED FOR THE PERIOD.
 8. ALL PLANTS MUST MEET THE STANDARDS OF THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK, SPONSORED BY THE ASSOCIATION OF AMERICAN NURSEMEN.
 9. NO PLANT SHALL BE LOCATED IN AREAS OF POOR DRAINAGE. IF SUCH CONDITIONS EXIST, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY TO REEVALUATE PLANT MATERIALS.
 10. SOIL CONDITIONS MUST BE TESTED, ANALYZED AND ADJUSTED BY THE LANDSCAPE ARCHITECT TO INSURE THAT APPROPRIATE SOIL COMPOSITION AND PH LEVELS ARE OBTAINABLE FOR PLANT MATERIALS LOCATED FOR THAT SPECIFIC LOCATION.
 11. LIGHT Poles SHALL NOT BE LOCATED OVER STORM DRAIN PIPES UNLESS THERE IS ADEQUATE COVER OVER THE TOP OF DRAIN LINE.
 12. FOR LIGHT POLE BASE AND FOUNDATION DETAIL, SEE STRUCTURAL ENGINEERING PLANS.
 13. TREES ARE NOT ALLOWED WITHIN 10 FEET OF EXISTING OR PROPOSED UTILITY STANDARDS AND WITHIN 10 FEET OF TREE LOCATIONS.
 14. FOR LOCATIONS OF STORM DRAIN PIPES, SEE A-100, BARRIER AND FOR BIG-LEAFED DETAIL, SEE PLANT MATERIALS LIST, PREPARED BY CHARLES R. JOHNSON & ASSOCIATES, 12241 GREENWAY BLVD., SUITE 200, GREENBELT, MD 20770. (NOTE: 1-10 AS LISTED ABOVE, FROM CITY OF GAITHERSBURG TREE MANUAL, PLANNING AND CODE ADMINISTRATION).
 15. SOUTHVIEW AVENUE, GAITHERSBURG, MD 20878. TELEPHONE: 703-258-6340.

LandDesign
 12241 Greenway Blvd., Suite 200, Greenbelt, MD 20770
 TEL: 410-209-1000 FAX: 410-209-1001
 www.LandDesign.com

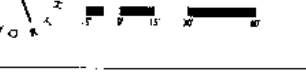
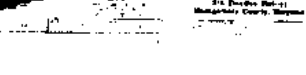
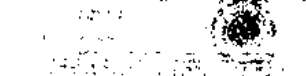
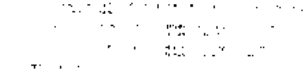
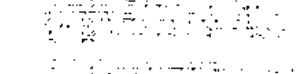
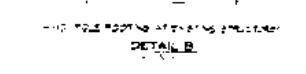
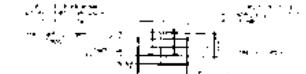
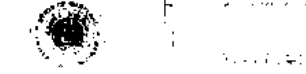
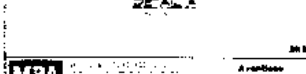
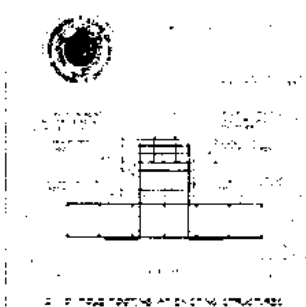
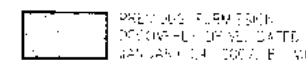
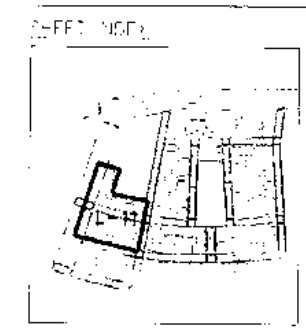
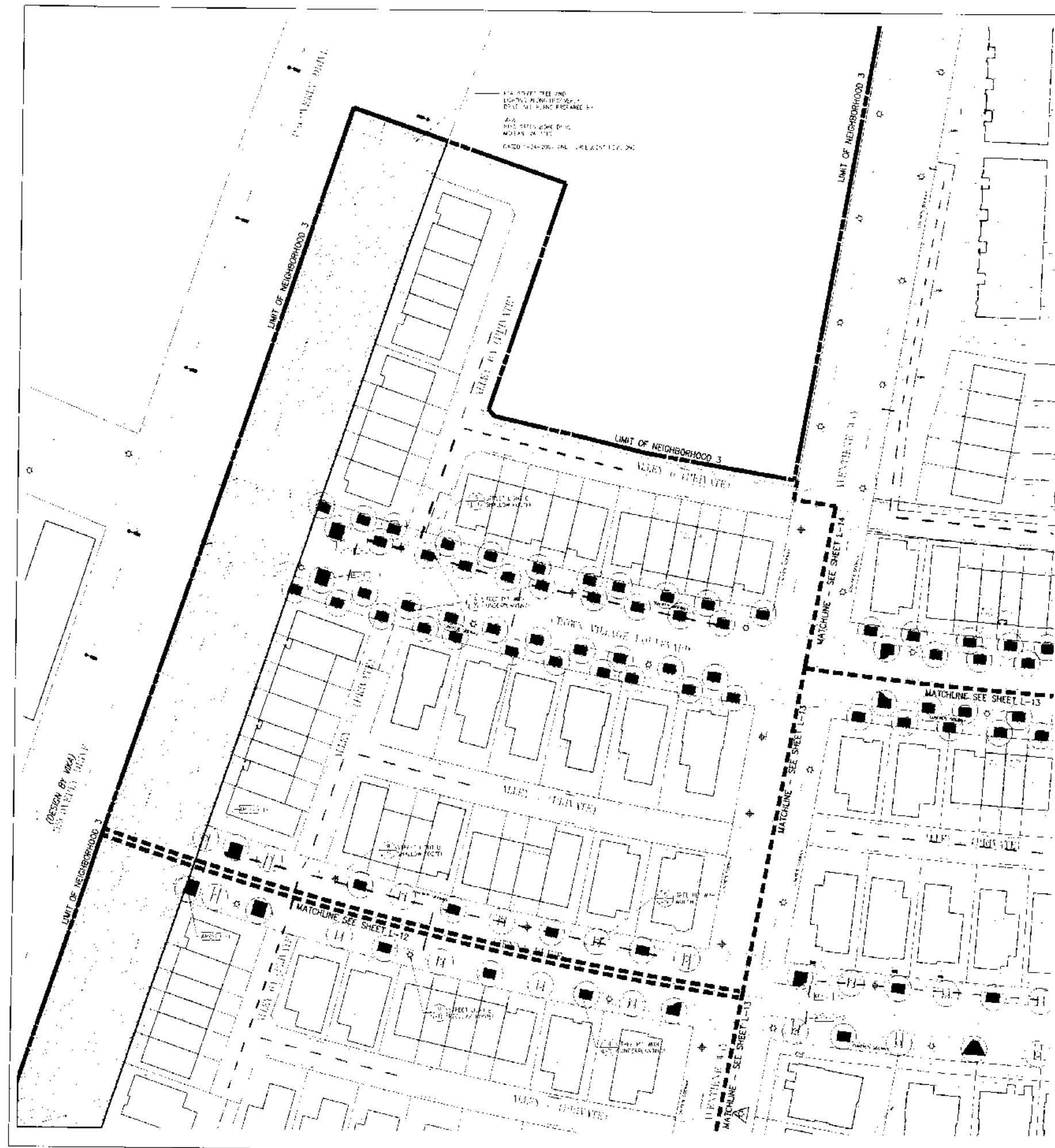
NEIGHBORHOOD 3 FINAL SITE PLAN, PHASE 2
 City of Gaithersburg, Maryland
 KEY PLAN



CITY OF GAITHERSBURG DEPARTMENT OF PUBLIC WORKS PAVING, MAINTENANCE, AND CONSTRUCTION	
FINAL APPROVAL	
DATE	BY

CITY OF GAITHERSBURG PLANNING COMMISSION 31 SOUTH BURNING WOODS AVENUE, GAITHERSBURG, MARYLAND 20878	
SITE PLAN APPROVAL	
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON:	
APPLICATION NO.	SP-07-0015
DATE	
BY	
NOTE: ANY REVISIONS TO THIS PLAN MUST BE APPROVED BY THE PLANNING COMMISSION.	

Ex. 19
 3P-07-0015
 10/17/07
 10/17/07
 10/17/07



LEGEND

STREET LIGHT A - 40' TALL, 150' WATT	
STREET LIGHT B - 40' TALL, 150' WATT	
STREET LIGHT C - 40' TALL, 150' WATT	
STREET LIGHT D - 40' TALL, 150' WATT	
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STREET LIGHT L - 40' TALL, 150' WATT	
STREET LIGHT M - 40' TALL, 150' WATT	
STREET LIGHT N - 40' TALL, 150' WATT	
STREET LIGHT O - 40' TALL, 150' WATT	
STREET LIGHT P - 40' TALL, 150' WATT	
STREET LIGHT Q - 40' TALL, 150' WATT	
STREET LIGHT R - 40' TALL, 150' WATT	
STREET LIGHT S - 40' TALL, 150' WATT	
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STREET LIGHT V - 40' TALL, 150' WATT	
STREET LIGHT W - 40' TALL, 150' WATT	
STREET LIGHT X - 40' TALL, 150' WATT	
STREET LIGHT Y - 40' TALL, 150' WATT	
STREET LIGHT Z - 40' TALL, 150' WATT	

BASE INFORMATION: EXISTING TOPOGRAPHY, EXISTING UTILITIES, EXISTING IMPROVEMENTS AND BOUNDARY INFORMATION IS FROM PLANS.

DESIGNED BY: J. H. JOHNSON & ASSOCIATES, INC.
1001 River Rd., Silver Spring, MD 20910
TEL: 301-594-7500 FAX: 301-594-7504
DATED: MAY 14, 2007

DESIGNED BY: J. H. JOHNSON & ASSOCIATES, INC.
1001 River Rd., Silver Spring, MD 20910
TEL: 301-594-7500 FAX: 301-594-7504
DATED: MARCH 27, 2007 AND MAY 14, 2007

GENERAL NOTES:
1. ALL PLANT MATERIAL MUST BE NOTED AT THE TIME OF THE PROPOSED INSTALLATION OF PLANTS UNLESS THEY HAVE AN ASSIGNED DOWNSIDE.
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LandDesign

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AVENUE NEIGHBORHOOD 3 FINAL SITE PLAN, PHASE 2

City of Gaithersburg, Maryland

LANDSCAPE AND LIGHTING PLAN

CITY OF GAITHERSBURG
PLANNING AND COMMUNITY DEVELOPMENT
PLANNING COMMISSION
DATE: 07/07/2013

FINAL APPROVAL

SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 07/07/2013. THE COMMISSION HAS APPROVED THE FINAL SITE PLAN APPROVAL FOR THE PROJECT.

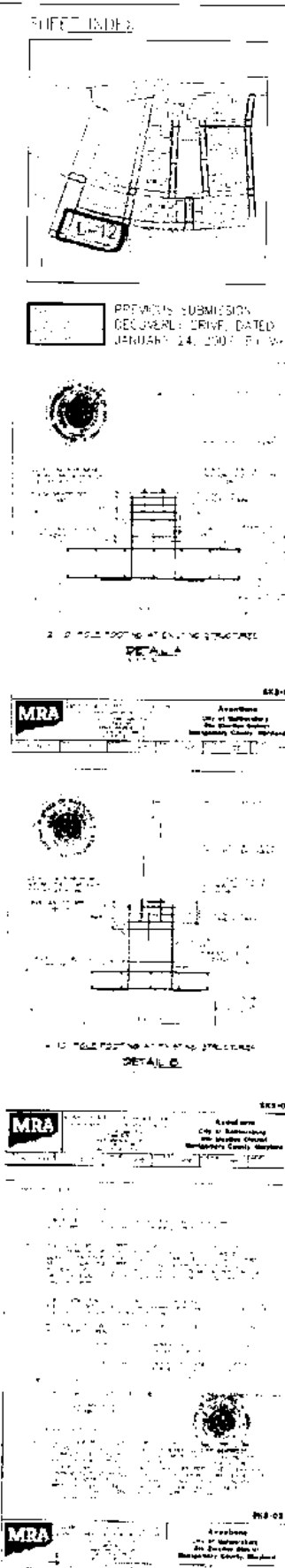
DATE: 07/07/2013

Ex. 20

SP-07-0013

PERMITS 800-631-9999

8/1/10



LEGEND

STREET LIGHT A - 10 ON THIS SHEET	STREET LIGHT B - 10 ON THIS SHEET	STREET LIGHT C - 10 ON THIS SHEET	STREET LIGHT D - 10 ON THIS SHEET	STREET LIGHT E - 10 ON THIS SHEET	STREET LIGHT F - 10 ON THIS SHEET	STREET LIGHT G - 10 ON THIS SHEET	STREET LIGHT H - 10 ON THIS SHEET	STREET LIGHT I - 10 ON THIS SHEET	STREET LIGHT J - 10 ON THIS SHEET	STREET LIGHT K - 10 ON THIS SHEET	STREET LIGHT L - 10 ON THIS SHEET	STREET LIGHT M - 10 ON THIS SHEET	STREET LIGHT N - 10 ON THIS SHEET	STREET LIGHT O - 10 ON THIS SHEET	STREET LIGHT P - 10 ON THIS SHEET	STREET LIGHT Q - 10 ON THIS SHEET	STREET LIGHT R - 10 ON THIS SHEET	STREET LIGHT S - 10 ON THIS SHEET	STREET LIGHT T - 10 ON THIS SHEET	STREET LIGHT U - 10 ON THIS SHEET	STREET LIGHT V - 10 ON THIS SHEET	STREET LIGHT W - 10 ON THIS SHEET	STREET LIGHT X - 10 ON THIS SHEET	STREET LIGHT Y - 10 ON THIS SHEET	STREET LIGHT Z - 10 ON THIS SHEET
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DATE INFORMATION INCLUDING TOPOGRAPHY, EXISTING UTILITIES, EXISTING IMPROVEMENTS AND BOUNDARY INFORMATION IS FROM PLANS:

CHARLES F. JOHNSON & ASSOCIATES, INC.
10042 LANTANA BLVD., SUITE 100, GAITHERSBURG, MD 20878
TEL: 301-943-4500 FAX: 301-943-4504
DATED MAY 24, 2007

FOOTING INFORMATION:
10042 LANTANA BLVD., SUITE 100, GAITHERSBURG, MD 20878
TEL: 301-943-4500 FAX: 301-943-4504
DATED MARCH 22, 2007 AND MAY 11, 2007

GENERAL NOTES:

1. ALL PLANT MATERIAL MUST BE SUBMITTED AS TEST ONE AND TWO FOR INSTALLATION OF PLANT MATERIALS AND SOILS.
2. UNLESS OTHERWISE SPECIFIED BY SPECIAL REQUIREMENTS OF THE MANUAL, THE LANDSCAPE DESIGN SHALL BE SUBMITTED IN A SEPARATE DRAWING WITH THE LATEST EDITION OF LANDSCAPE SPECIFICATIONS GOVERNING. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO OBTAIN THE LATEST EDITION OF THE LANDSCAPE CONTRACTOR'S MANUAL.
3. ALL TREES SHOWN TO BE PLANTED SHALL BE PLANTED WITHIN 1 FEET FROM ALL SIDEWALKS, 2 FEET FROM A STREET, 2 FEET FROM A PUBLIC STREET LIGHT, 2 FEET FROM A SIDEWALK, 2 FEET FROM ANY TRAFFIC CONTROL SIGNAL, AND AT LEAST 10 FEET FROM ANY INTERSECTION.
4. LOCATIONS OF STREET TREES MAY BE SUBJECT TO CHANGE IN ORDER TO AVOID CONFLICT WITH STREET LIGHTING.
5. ANY PLANTING WITHIN A STREET LIGHTING AREA, AS INDICATED ON THE EXISTING CONSTRUCTION PLANS AND SHOWN ON THE PLAN, MUST BE DONE TO AVOID ANY ADVERSE IMPACT TO THE STREET LIGHTING.
6. PLANT SUBMITTALS MUST BE APPROVED BY THE CITY AND SOILS AND SOILS MUST BE SUBMITTED TO THE CITY FOR APPROVAL.
7. ALL PLANT MATERIAL WILL BE SUBMITTED FOR SURVIVAL BY THE CITY AND SOILS SUBMITTALS MUST BE SUBMITTED TO THE CITY FOR APPROVAL.
8. ALL PLANTS MUST MEET THE STANDARDS OF THE LANDSCAPE CONTRACTOR'S MANUAL AND BE SUBMITTED TO THE CITY FOR APPROVAL.
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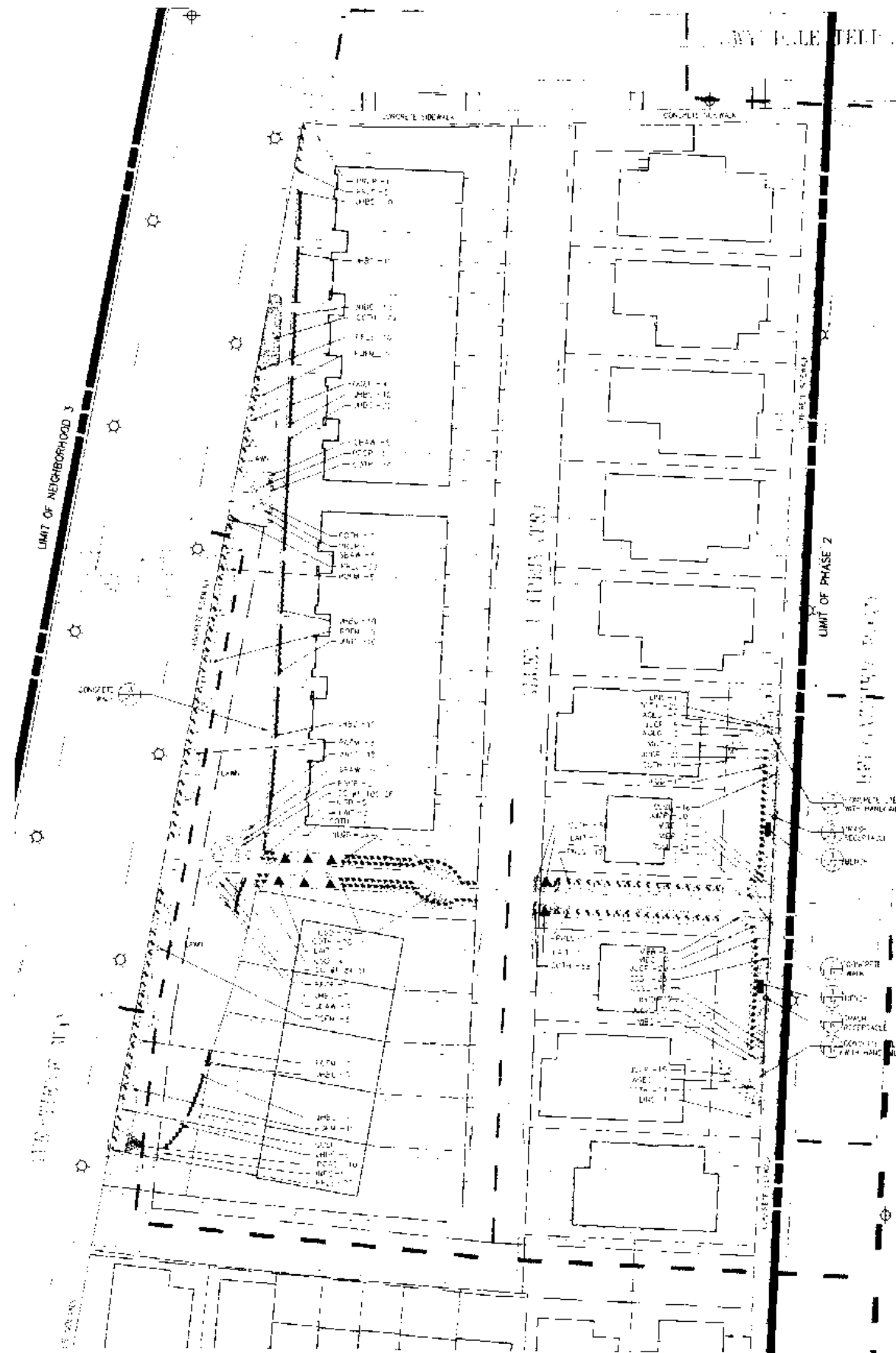
CITY OF GAITHERSBURG PLANNING COMMISSION
AT THE REGULAR MEETING HELD ON THE 10TH DAY OF MAY, 2007
SITE PLAN APPROVAL
APPLICATION NO. SP-07-0013
FINAL SITE PLAN APPROVAL
DATE: 5/10/07
BY: [Signature]
NOTE: ANY CHANGES TO THESE PLANS MUST BE APPROVED BY THE PLANNING COMMISSION.

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
FINAL APPROVAL
DATE: 5/10/07
BY: [Signature]

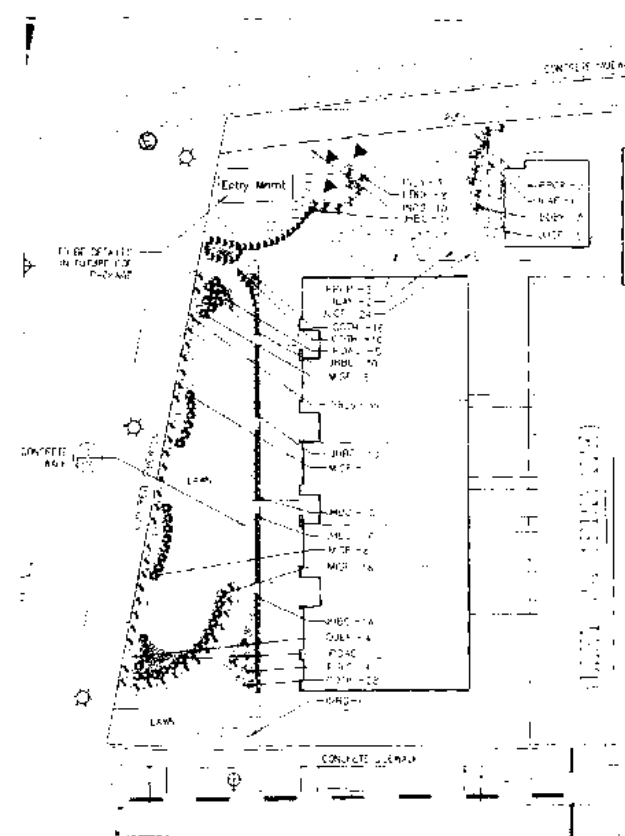
LandDesign
200 S. Pooch Rd., Annapolis, MD 21403
TEL: 410-261-1111 FAX: 410-261-1112
www.landdesign.com

AVENTIENE NEIGHBORHOOD 3 FINAL SITE PLAN, PHASE 2
City of Gaithersburg, Maryland
LANDSCAPE AND LIGHTING PLAN

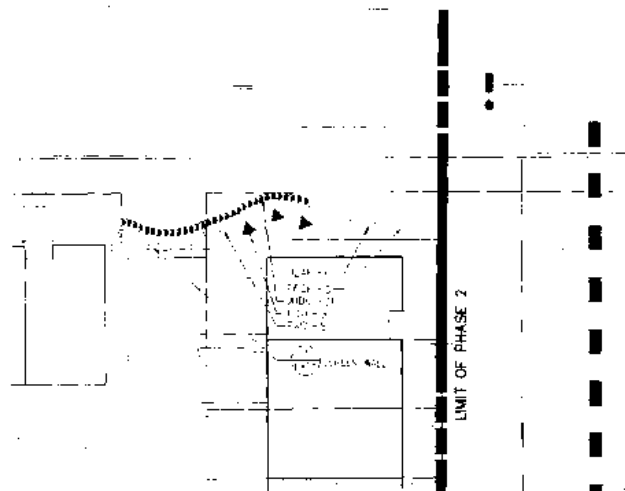
Ex. 21
SP-07-0013
10/17/07
6000-100-0000-0000



ENLARGEMENT A



ENLARGEMENT B



ENLARGEMENT C

SHEET INDEX



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CONCRETE PAVEMENT -	200

BASE INFORMATION, INCLUDING TOPOGRAPHY, EXISTING UTILITIES, EXISTING IMPROVEMENTS, AND EXISTING RIGHT-OF-WAY, FROM PLANS -

CHARLES P. JOHNSON & ASSOCIATES, INC.
1750 E. 10th St., Suite 100, Duluth, GA 30090
TEL: 404.252.4444 FAX: 404.252.4444
DATED: MAY 24, 2007

PROJECT INFORMATION
1750 E. 10th St., Suite 100, Duluth, GA 30090
TEL: 404.252.4444 FAX: 404.252.4444
DATED: MAY 24, 2007

GENERAL NOTES
1. INDIVIDUAL HOMEOWNERS MUST BE NOTIFIED AT LEAST 14 DAYS PRIOR TO INSTALLATION OF PLANTS OR TREES THAT HAVE AN ANTICIPATED DEADLINE.
2. UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER, THE LANDSCAPE ARCHITECT'S DESIGN SHALL BE THE BASIS FOR THE CITY ENGINEER'S REVIEW AND APPROVAL.
3. ALL TREES ARE TO BE LOCATED A MINIMUM OF 10 FEET FROM ALL UTILITY LINES, 5 FEET FROM A STORM DRAIN INLET, OR 10 FEET FROM A FIRE HYDRANT. ALL TREES SHALL BE PLANTED AT LEAST 10 FEET FROM PUBLIC STREETS, 10 FEET FROM DRIVEWAYS, 10 FEET FROM SIDEWALKS, 10 FEET FROM CONTROL SIGNS, AND AT LEAST 10 FEET FROM ANY INTERSECTION.
4. LOCATIONS OF STREET TREES MAY BE SUBJECT TO CHANGE IN ORDER TO AVOID CONFLICT WITH STREET LIGHTING.
5. ANY PLANTING WITHIN A STREET INTERSECTION SHALL BE PLANTED IN THE STREET INTERSECTION AND SHALL BE THE BASIS FOR THE CITY ENGINEER'S REVIEW AND APPROVAL.
6. PLANT SUBSTITUTIONS MUST BE APPROVED BY THE CITY ENGINEER AND CITY STAFF PRIOR TO INSTALLATION. NO SUBSTITUTIONS ALLOWED IN THE STREET INTERSECTION.
7. ALL PLANT MATERIAL WILL BE IDENTIFIED FOR SUPPLY BY THE PLANNING AND CODE ADMINISTRATION OFFICE FOLLOWING INSTALLATION. A 10% PLANT MATERIAL LOSS WILL BE ALLOWED FOR THE CITY ENGINEER'S REVIEW AND APPROVAL.
8. ALL PLANTS MUST MEET THE STANDARDS OF THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK SPECIFICATIONS OF THE ASSOCIATION OF AMERICAN NURSERMEN.
9. NO PLANT MATERIAL SHALL BE PLANTED IN AREAS OF POOR DRAINAGE OR WITHIN 10 FEET OF ANY EXISTING OR PROPOSED STORM DRAIN INLET. THE LANDSCAPE ARCHITECT'S DESIGN SHALL BE THE BASIS FOR THE CITY ENGINEER'S REVIEW AND APPROVAL.
10. THE CITY ENGINEER'S REVIEW AND APPROVAL SHALL BE THE BASIS FOR THE CITY ENGINEER'S REVIEW AND APPROVAL.
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20. THE CITY ENGINEER'S REVIEW AND APPROVAL SHALL BE THE BASIS FOR THE CITY ENGINEER'S REVIEW AND APPROVAL.

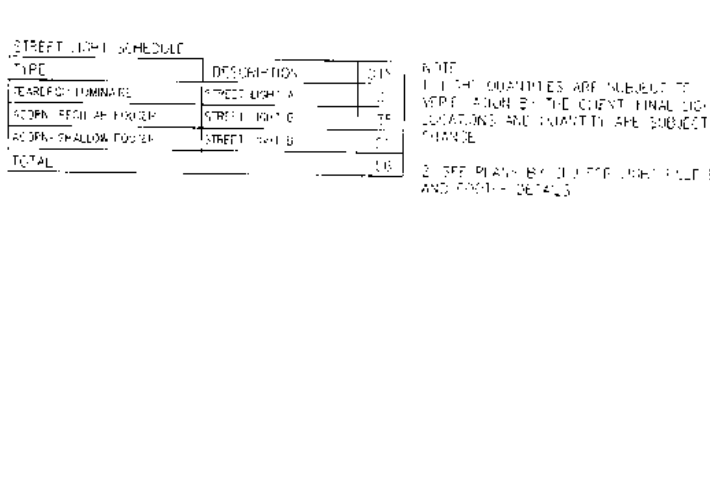
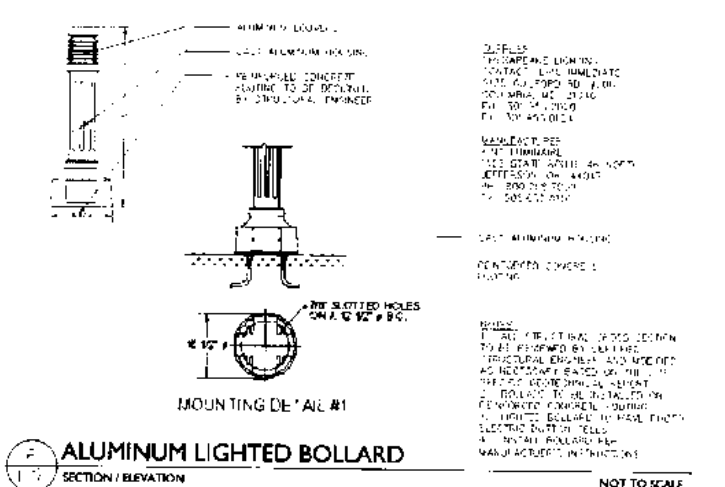
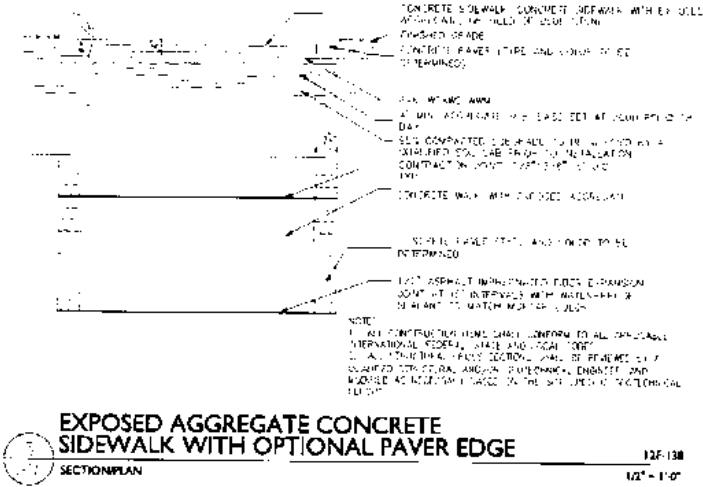
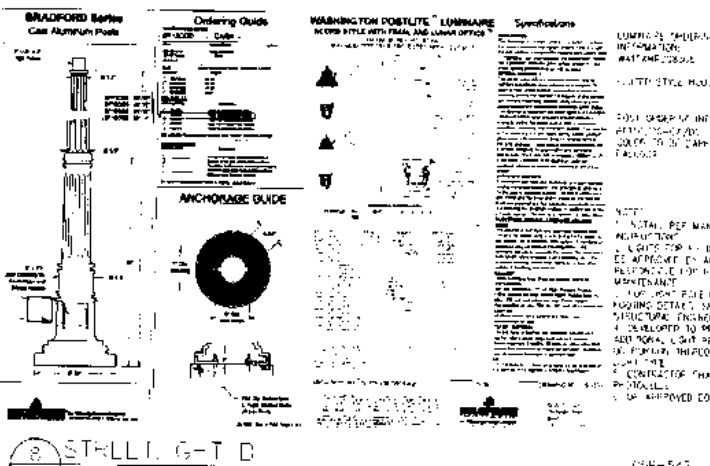
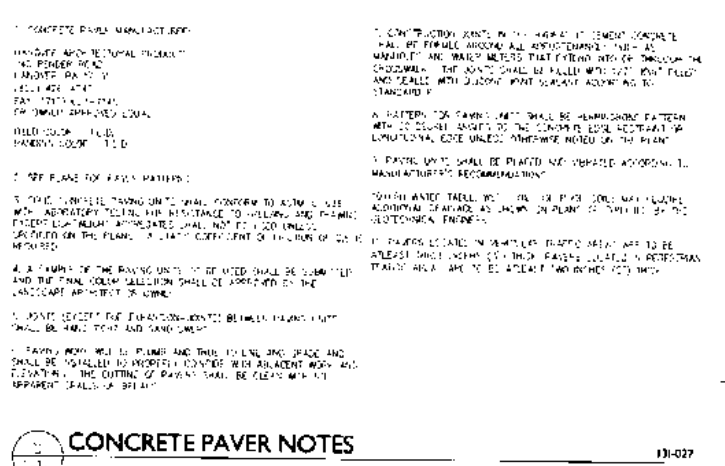
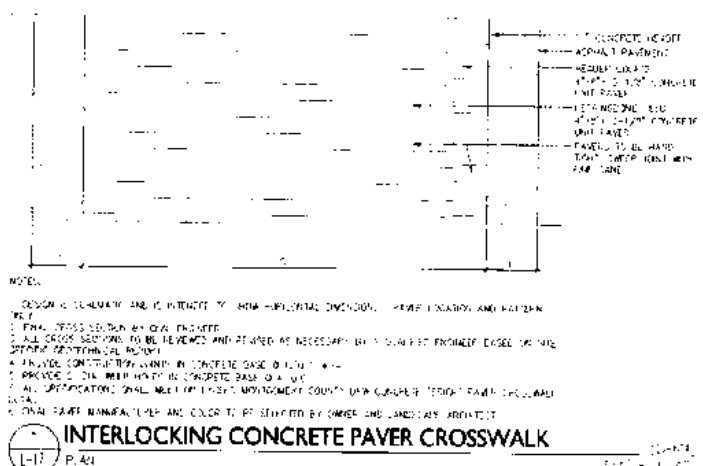
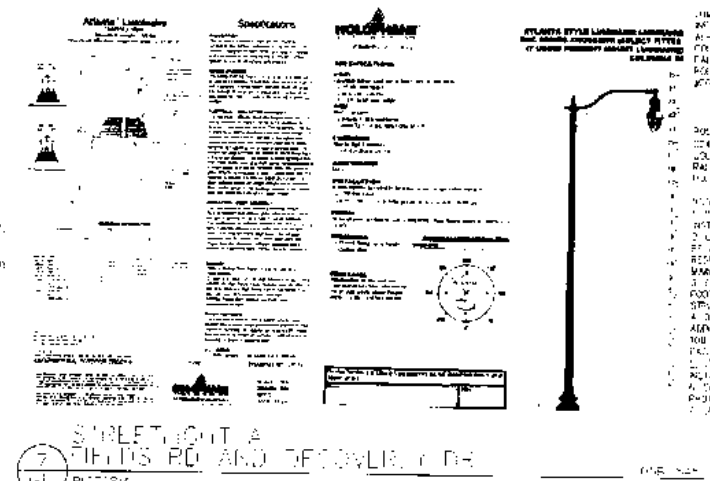
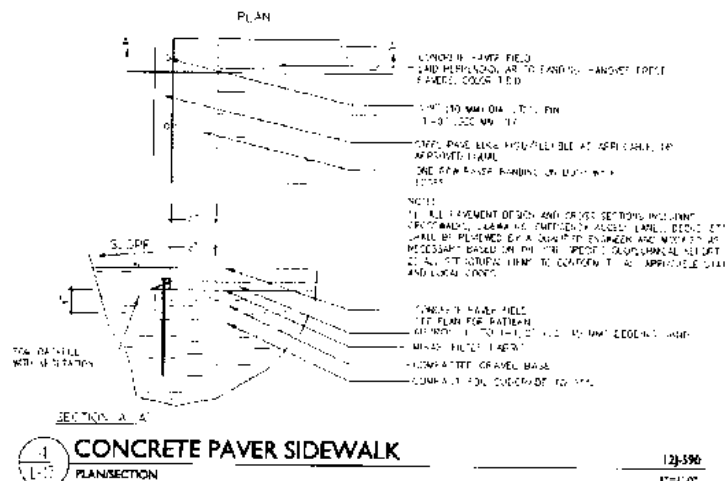
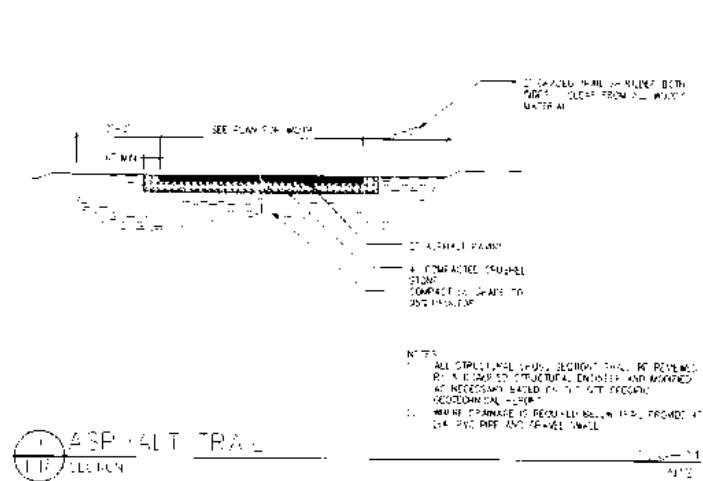
CITY OF GAITHERSBURG DEPARTMENT OF PUBLIC WORKS FINAL APPROVAL	
DATE	BY

CITY OF GAITHERSBURG PLANNING COMMISSION 31 NORTH BROAD AVENUE, GAITHERSBURG, MARYLAND 20878	
SITE PLAN APPROVAL	
ALL THE NECESSARY REGULATORY AGENCIES OF THE PLANNING COMMISSION HAVE BEEN ADVISED BY THE PLANNING COMMISSION.	
APPLICATION NO.	DATE
5PL-07-0013	07/11/07
DATE	BY
07/11/07	BY
NOTE: ANY REVISIONS TO THE SITE PLAN MUST BE SUBMITTED TO THE PLANNING COMMISSION FOR REVIEW AND APPROVAL.	

AVENTURE NEIGHBORHOOD 3 FINAL SITE PLAN, PHASE 2
City of Gaithersburg, Maryland
LANDSCAPE ENLARGEMENT PLAN

DATE: 07/11/07
BY: [Signature]
TITLE: [Signature]
REVISIONS: [Signature]

OK. 25
SP.07-0013
7/11/07
0000-000-000-000



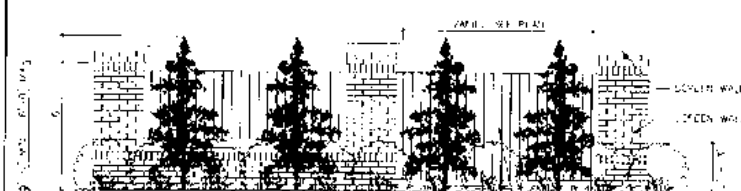
LandDesign

AVENTIERE
NEIGHBORHOOD 3 FINAL SITE PLAN, PHASE 2
City of Gaithersburg, Maryland
SITE DETAILS

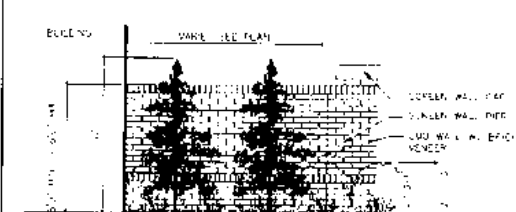
CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
FINAL APPROVAL

CITY OF GAITHERSBURG PLANNING COMMISSION
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION
APPROVED: SP-07-0013
FINAL SITE PLAN APPROVAL
DATE: 1/11/07

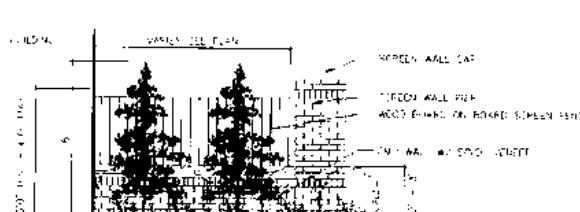
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SP-07-0013
7/11/07



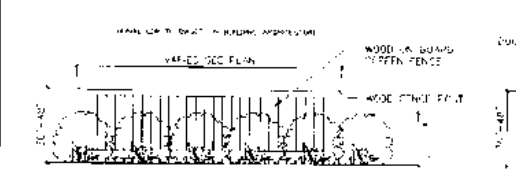
TYPE A
SCREEN WALL



TYPE B
SCREEN WALL



TYPE C
SCREEN WALL



TYPE D
SCREEN WALL



TYPE E
SCREEN WALL

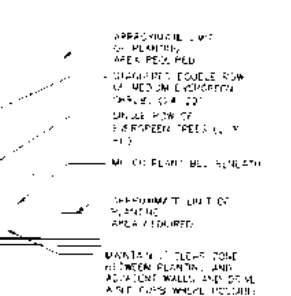
- NOTES:
1. SEE PLANS FOR SCREEN WALL LOCATION.
 2. SCREEN IS NOT TO BE OVER 4' HIGH.
 3. ALL SCREEN WALLS SHALL BE CONSTRUCTED AND MAINTAINED TO REMAIN IN GOOD CONDITION AND NOT BE A HAZARD TO THE PUBLIC.
 4. ALL SCREEN WALLS SHALL BE CONSTRUCTED TO REMAIN IN GOOD CONDITION AND NOT BE A HAZARD TO THE PUBLIC.
 5. SCREEN WALLS SHALL BE CONSTRUCTED TO REMAIN IN GOOD CONDITION AND NOT BE A HAZARD TO THE PUBLIC.

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
FINAL APPROVAL

DATE: _____ BY: _____

CITY OF GAITHERSBURG PLANNING COMMISSION
AT THE REGULAR MEETING HELD ON THE _____ DAY OF _____, 2017
COMMISSIONER: _____
APPLICANT: _____
FINAL SITE PLAN APPROVAL

NOTE: ANY REVISIONS TO THIS PLAN MUST BE APPROVED BY THE PLANNING COMMISSION.



TYPE F
SCREEN WALL

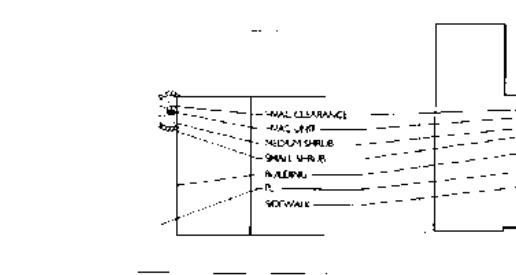
ALLEY ENTRY SCREENING OPTIONS

ELEVATION

NOTE: SCREEN WALL MATERIAL, LOCATION AND LANDSCAPE SUBJECT TO CHANGE BASED ON FINAL HOUSE LOCATIONS, MATERIAL AND OPTIONS.

ALL SCREENING AREAS TO BE MAINTAINED BY HOMEOWNER.

NOTE: SEE PLANS PREPARED BY OPI FOR TYPICAL HVAC LOCATIONS.



TYPE G
SCREEN WALL

ALLEY ENTRY SCREENING OPTIONS

PLAN

NOTE: The screen wall shall be constructed to remain in good condition and not be a hazard to the public.

1. Screen Wall Material: Wood, Vinyl, or Metal.

2. Screen Wall Location: To be determined by the homeowner.

3. Screen Wall Height: To be determined by the homeowner.

4. Screen Wall Material: Wood, Vinyl, or Metal.

5. Screen Wall Location: To be determined by the homeowner.

6. Screen Wall Height: To be determined by the homeowner.

7. Screen Wall Material: Wood, Vinyl, or Metal.

8. Screen Wall Location: To be determined by the homeowner.

9. Screen Wall Height: To be determined by the homeowner.

10. Screen Wall Material: Wood, Vinyl, or Metal.

11. Screen Wall Location: To be determined by the homeowner.

12. Screen Wall Height: To be determined by the homeowner.

13. Screen Wall Material: Wood, Vinyl, or Metal.

14. Screen Wall Location: To be determined by the homeowner.

15. Screen Wall Height: To be determined by the homeowner.

16. Screen Wall Material: Wood, Vinyl, or Metal.

17. Screen Wall Location: To be determined by the homeowner.

18. Screen Wall Height: To be determined by the homeowner.

ALLEY ENTRY SCREENING OPTIONS

PLAN

NOTE: The screen wall shall be constructed to remain in good condition and not be a hazard to the public.

1. Screen Wall Material: Wood, Vinyl, or Metal.

2. Screen Wall Location: To be determined by the homeowner.

3. Screen Wall Height: To be determined by the homeowner.

4. Screen Wall Material: Wood, Vinyl, or Metal.

5. Screen Wall Location: To be determined by the homeowner.

6. Screen Wall Height: To be determined by the homeowner.

7. Screen Wall Material: Wood, Vinyl, or Metal.

8. Screen Wall Location: To be determined by the homeowner.

9. Screen Wall Height: To be determined by the homeowner.

10. Screen Wall Material: Wood, Vinyl, or Metal.

11. Screen Wall Location: To be determined by the homeowner.

12. Screen Wall Height: To be determined by the homeowner.

13. Screen Wall Material: Wood, Vinyl, or Metal.

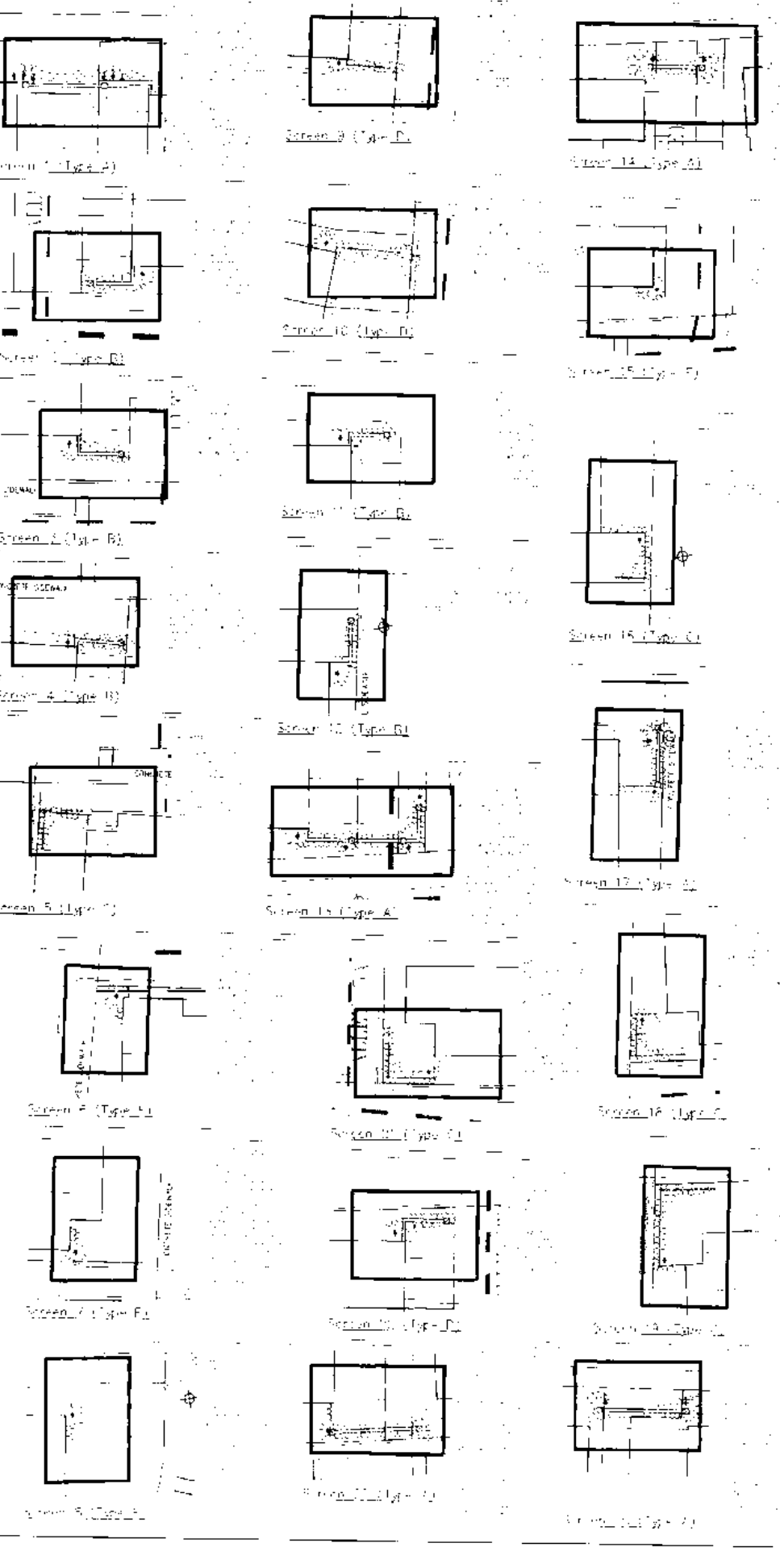
14. Screen Wall Location: To be determined by the homeowner.

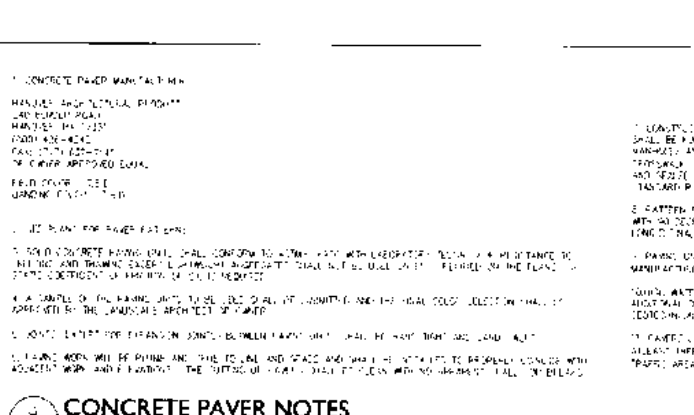
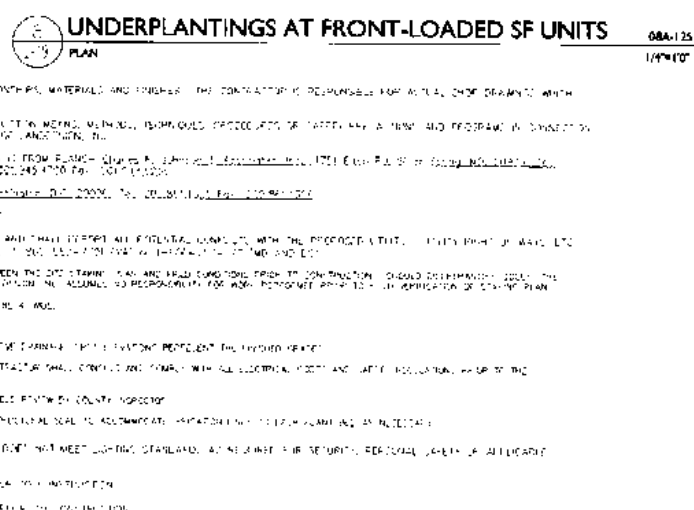
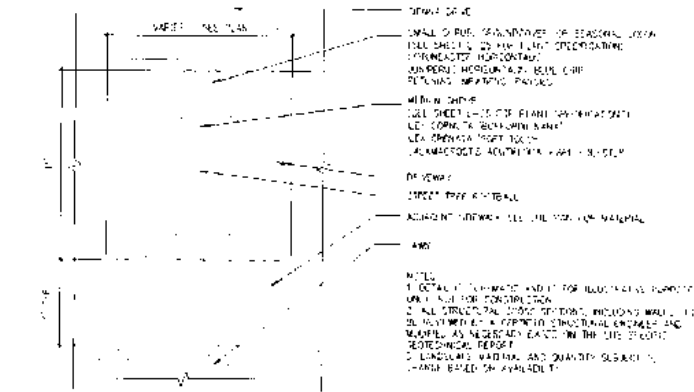
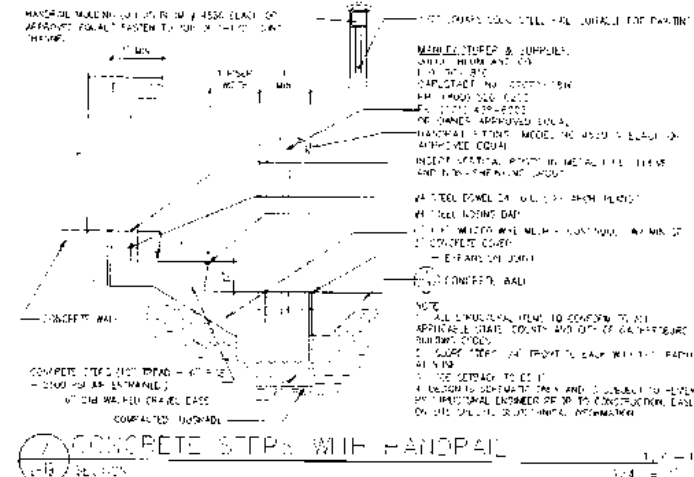
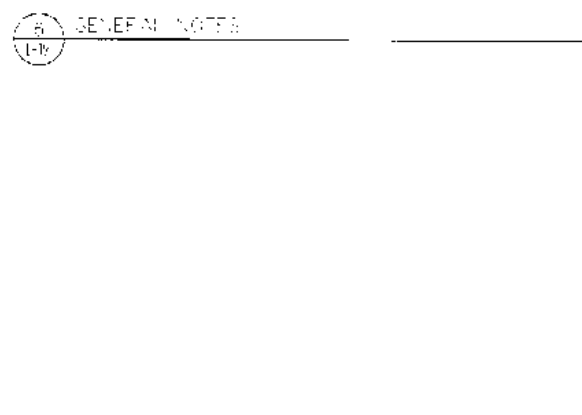
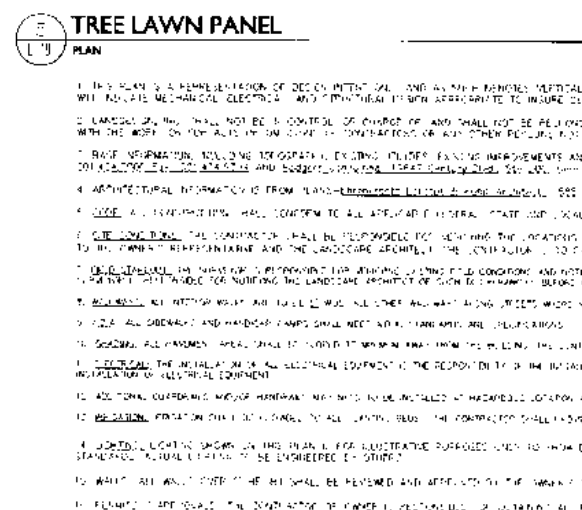
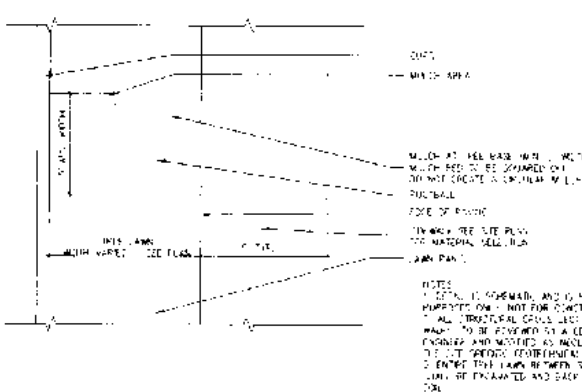
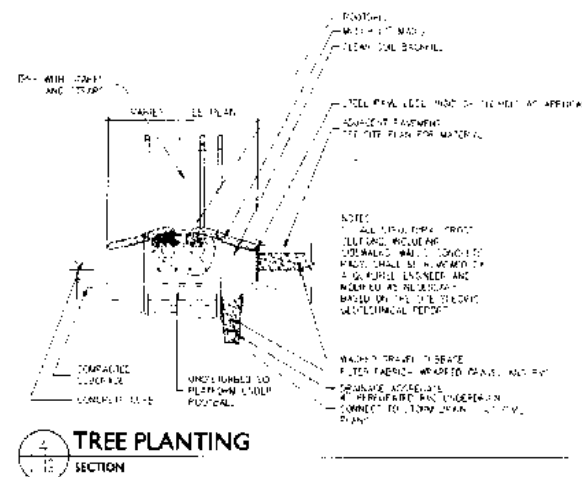
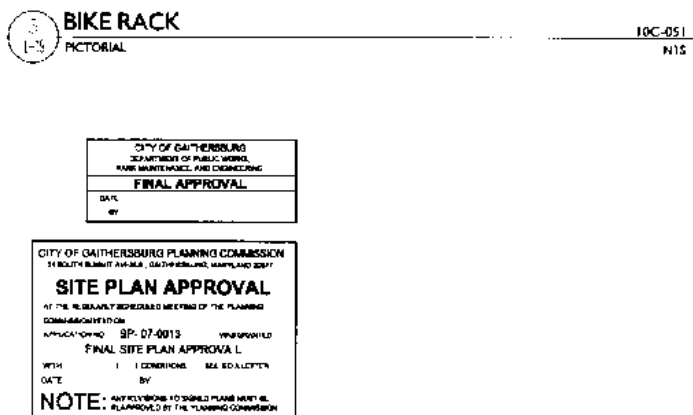
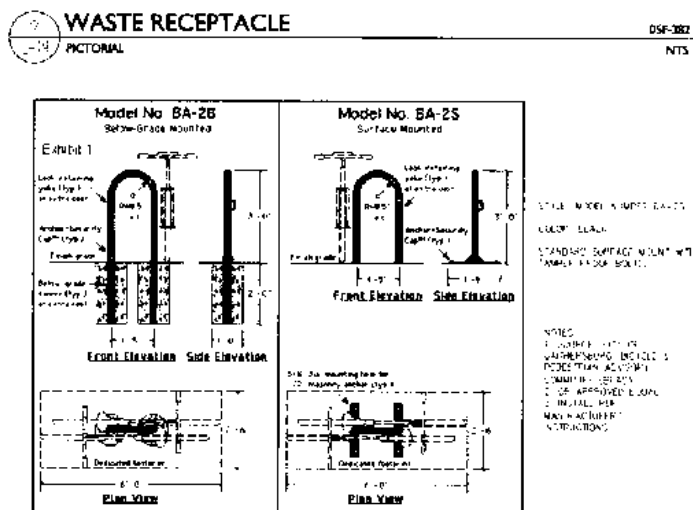
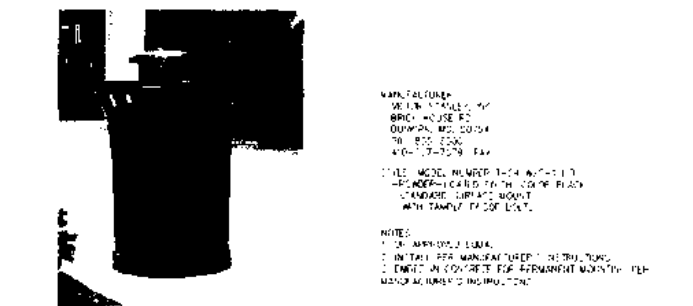
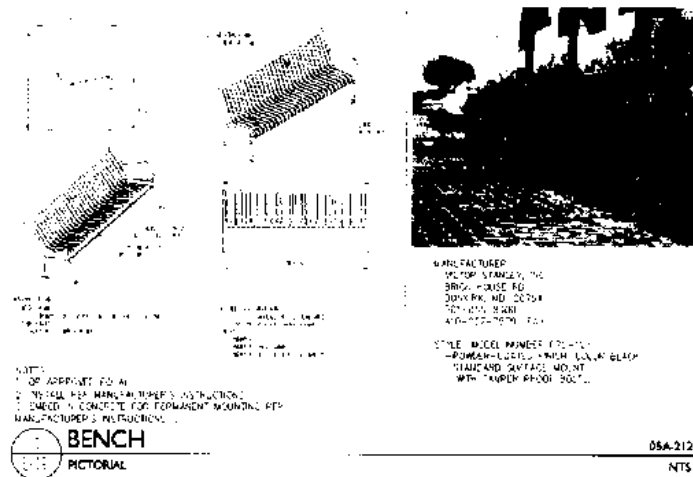
15. Screen Wall Height: To be determined by the homeowner.

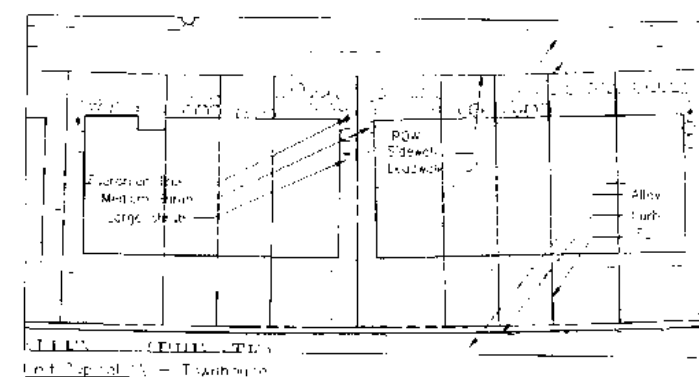
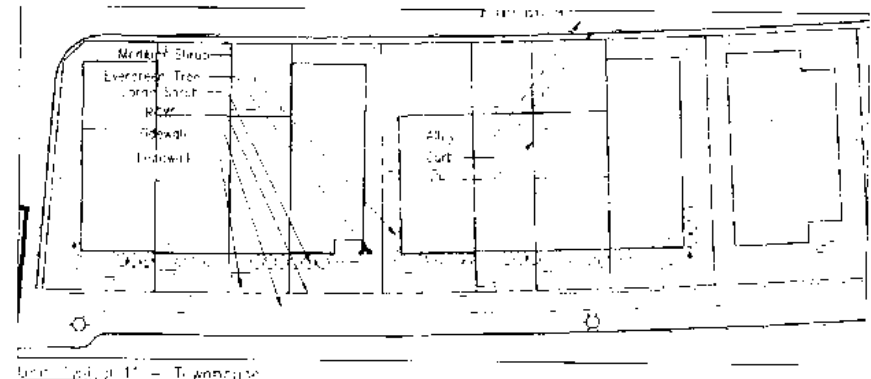
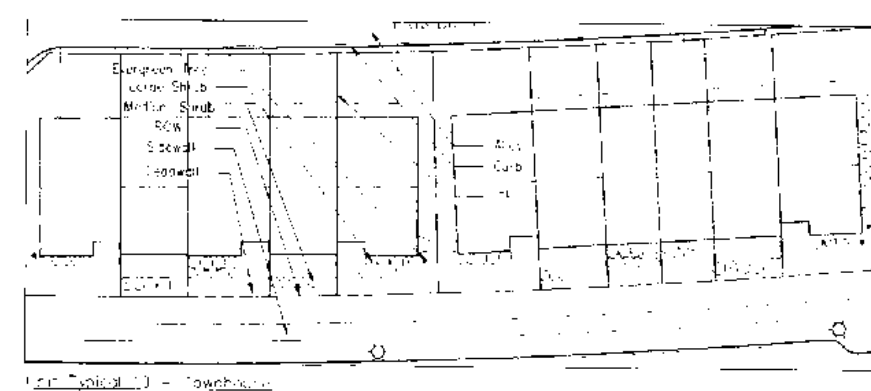
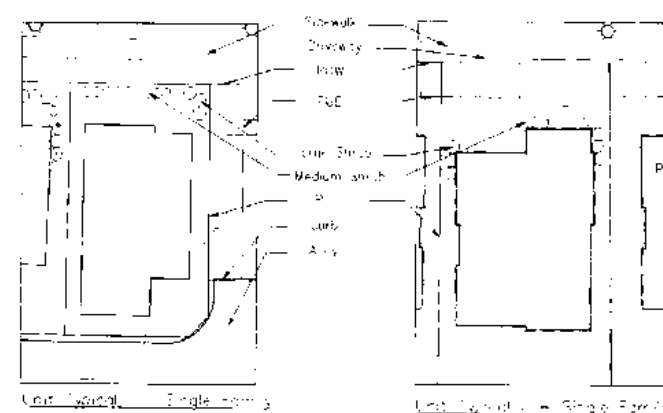
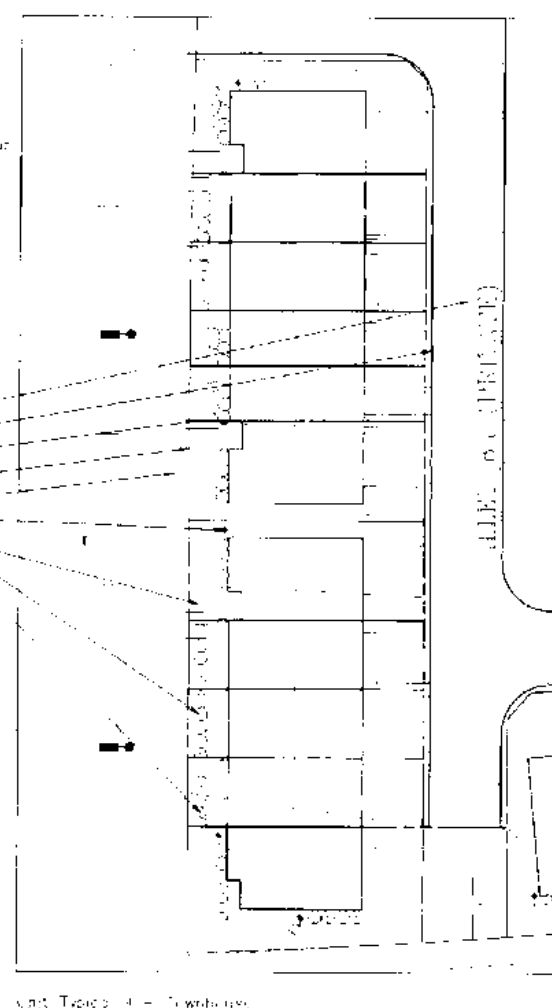
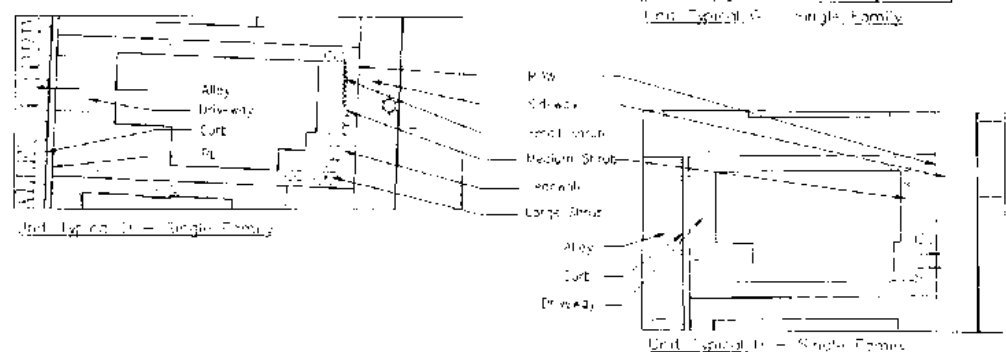
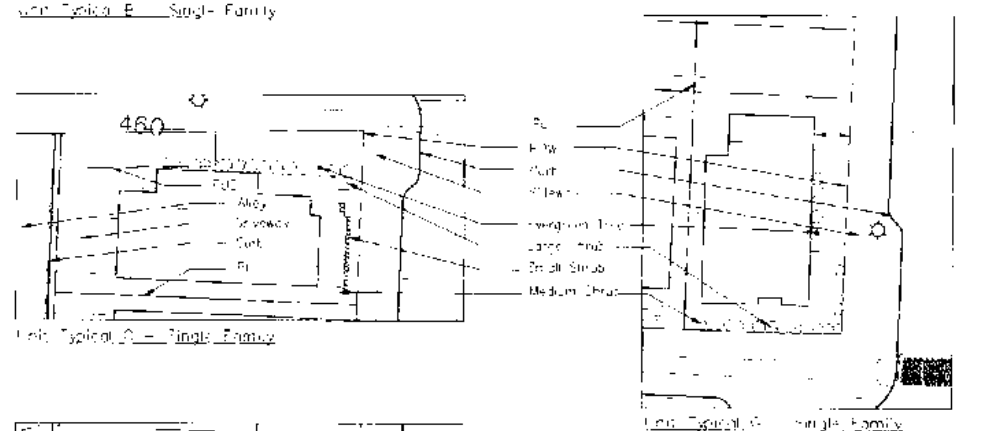
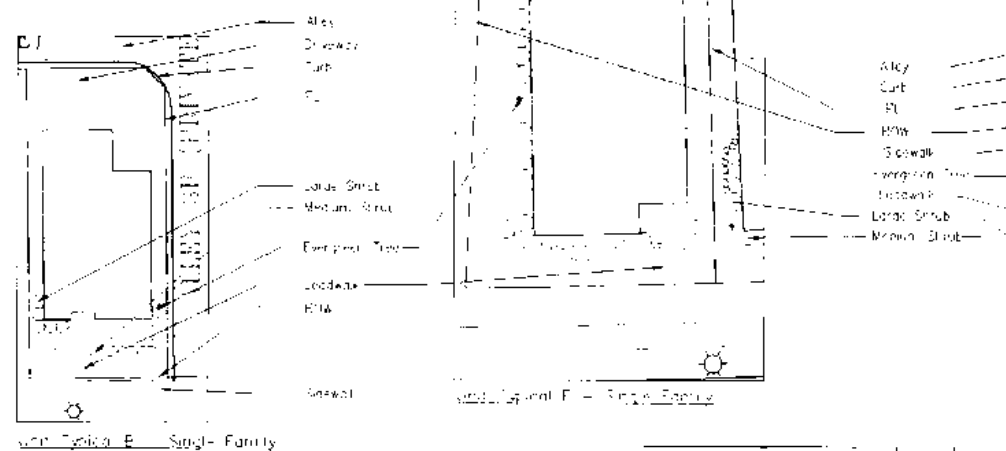
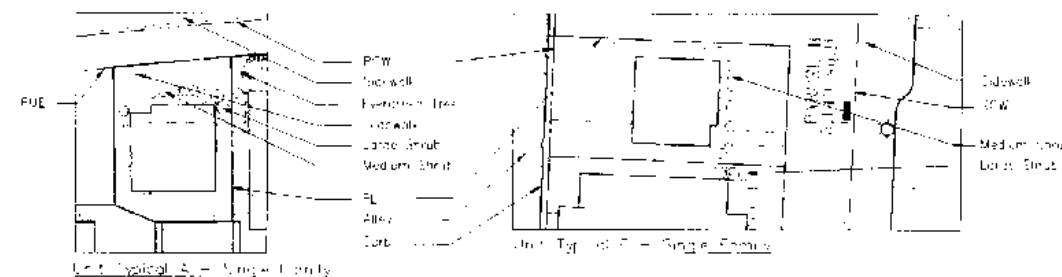
16. Screen Wall Material: Wood, Vinyl, or Metal.

17. Screen Wall Location: To be determined by the homeowner.

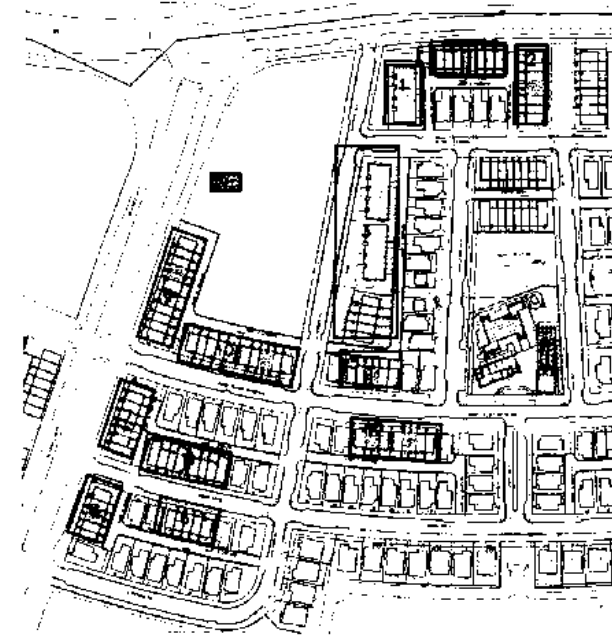
18. Screen Wall Height: To be determined by the homeowner.







NOTE:
1. UNIT TOPICAL LANDSCAPE MATERIAL AND FINAL UTILITY LOCATIONS
SUBJECT TO CHANGE BASED ON FINAL HOUSE LOCATIONS MATERIAL AND
OPTIONS.
2. END AND CORNER UNITS THAT BORDER A SHEET ARE TO HAVE
ADDITIONAL MATERIAL INSTALLED ALONG ENTIRE SIDE OF SHEET.



2. *Policy* 5

1. The plants are depicted in schematic and are to denote only about only the parts present, quantity and location, and 1 to 10 mg each for each factor, quality, and field condition.

* Longman English Dictionary

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m = p[0][0]: E, loc = p[0][1]: K, p[1]
p[0] = p[0][2]: k, p[0][3]: v, p[0]
p[0] = p[0][4]: E, p[0][5]: loc, p[0] = p[0][6]: k, p[0][7]: v, p[0]
"find all possible linear d (linear) = linear, only 1d, 2d, 3d, 4d, 5d, 6d, 7d, 8d, 9d, 10d, 11d, 12d, 13d, 14d, 15d, 16d, 17d, 18d, 19d, 20d, 21d, 22d, 23d, 24d, 25d, 26d, 27d, 28d, 29d, 30d, 31d, 32d, 33d, 34d, 35d, 36d, 37d, 38d, 39d, 40d, 41d, 42d, 43d, 44d, 45d, 46d, 47d, 48d, 49d, 50d, 51d, 52d, 53d, 54d, 55d, 56d, 57d, 58d, 59d, 60d, 61d, 62d, 63d, 64d, 65d, 66d, 67d, 68d, 69d, 70d, 71d, 72d, 73d, 74d, 75d, 76d, 77d, 78d, 79d, 80d, 81d, 82d, 83d, 84d, 85d, 86d, 87d, 88d, 89d, 90d, 91d, 92d, 93d, 94d, 95d, 96d, 97d, 98d, 99d, 100d, 101d, 102d, 103d, 104d, 105d, 106d, 107d, 108d, 109d, 110d, 111d, 112d, 113d, 114d, 115d, 116d, 117d, 118d, 119d, 120d, 121d, 122d, 123d, 124d, 125d, 126d, 127d, 128d, 129d, 130d, 131d, 132d, 133d, 134d, 135d, 136d, 137d, 138d, 139d, 140d, 141d, 142d, 143d, 144d, 145d, 146d, 147d, 148d, 149d, 150d, 151d, 152d, 153d, 154d, 155d, 156d, 157d, 158d, 159d, 160d, 161d, 162d, 163d, 164d, 165d, 166d, 167d, 168d, 169d, 170d, 171d, 172d, 173d, 174d, 175d, 176d, 177d, 178d, 179d, 180d, 181d, 182d, 183d, 184d, 185d, 186d, 187d, 188d, 189d, 190d, 191d, 192d, 193d, 194d, 195d, 196d, 197d, 198d, 199d, 200d, 201d, 202d, 203d, 204d, 205d, 206d, 207d, 208d, 209d, 210d, 211d, 212d, 213d, 214d, 215d, 216d, 217d, 218d, 219d, 220d, 221d, 222d, 223d, 224d, 225d, 226d, 227d, 228d, 229d, 230d, 231d, 232d, 233d, 234d, 235d, 236d, 237d, 238d, 239d, 240d, 241d, 242d, 243d, 244d, 245d, 246d, 247d, 248d, 249d, 250d, 251d, 252d, 253d, 254d, 255d, 256d, 257d, 258d, 259d, 260d, 261d, 262d, 263d, 264d, 265d, 266d, 267d, 268d, 269d, 270d, 271d, 272d, 273d, 274d, 275d, 276d, 277d, 278d, 279d, 280d, 281d, 282d, 283d, 284d, 285d, 286d, 287d, 288d, 289d, 290d, 291d, 292d, 293d, 294d, 295d, 296d, 297d, 298d, 299d, 300d, 301d, 302d, 303d, 304d, 305d, 306d, 307d, 308d, 309d, 310d, 311d, 312d, 313d, 314d, 315d, 316d, 317d, 318d, 319d, 320d, 321d, 322d, 323d, 324d, 325d, 326d, 327d, 328d, 329d, 330d, 331d, 332d, 333d, 334d, 335d, 336d, 337d, 338d, 339d, 340d, 341d, 342d, 343d, 344d, 345d, 346d, 347d, 348d, 349d, 350d, 351d, 352d, 353d, 354d, 355d, 356d, 357d, 358d, 359d, 360d, 361d, 362d, 363d, 364d, 365d, 366d, 367d, 368d, 369d, 370d, 371d, 372d, 373d, 374d, 375d, 376d, 377d, 378d, 379d, 380d, 381d, 382d, 383d, 384d, 385d, 386d, 387d, 388d, 389d, 390d, 391d, 392d, 393d, 394d, 395d, 396d, 397d, 398d, 399d, 400d, 401d, 402d, 403d, 404d, 405d, 406d, 407d, 408d, 409d, 410d, 411d, 412d, 413d, 414d, 415d, 416d, 417d, 418d, 419d, 420d, 421d, 422d, 423d, 424d, 425d, 426d, 427d, 428d, 429d, 430d, 431d, 432d, 433d, 434d, 435d, 436d, 437d, 438d, 439d, 440d, 441d, 442d, 443d, 444d, 445d, 446d, 447d, 448d, 449d, 450d, 451d, 452d, 453d, 454d, 455d, 456d, 457d, 458d, 459d, 460d, 461d, 462d, 463d, 464d, 465d, 466d, 467d, 468d, 469d, 470d, 471d, 472d, 473d, 474d, 475d, 476d, 477d, 478d, 479d, 480d, 481d, 482d, 483d, 484d, 485d, 486d, 487d, 488d, 489d, 490d, 491d, 492d, 493d, 494d, 495d, 496d, 497d, 498d, 499d, 500d, 501d, 502d, 503d, 504d, 505d, 506d, 507d, 508d, 509d, 510d, 511d, 512d, 513d, 514d, 515d, 516d, 517d, 518d, 519d, 520d, 521d, 522d, 523d, 524d, 525d, 526d, 527d, 528d, 529d, 530d, 531d, 532d, 533d, 534d, 535d, 536d, 537d, 538d, 539d, 540d, 541d, 542d, 543d, 544d, 545d, 546d, 547d, 548d, 549d, 550d, 551d, 552d, 553d, 554d, 555d, 556d, 557d, 558d, 559d, 560d, 561d, 562d, 563d, 564d, 565d, 566d, 567d, 568d, 569d, 570d, 571d, 572d, 573d, 574d, 575d, 576d, 577d, 578d, 579d, 580d, 581d, 582d, 583d, 584d, 585d, 586d, 587d, 588d, 589d, 590d, 591d, 592d, 593d, 594d, 595d, 596d, 597d, 598d, 599d, 600d, 601d, 602d, 603d, 604d, 605d, 606d, 607d, 608d, 609d, 610d, 611d, 612d, 613d, 614d, 615d, 616d, 617d, 618d, 619d, 620d, 621d, 622d, 623d, 624d, 625d, 626d, 627d, 628d, 629d, 630d, 631d, 632d, 633d, 634d, 635d, 636d, 637d, 638d, 639d, 640d, 641d, 642d, 643d, 644d, 645d, 646d, 647d, 648d, 649d, 650d, 651d, 652d, 653d, 654d, 655d, 656d, 657d, 658d, 659d, 660d, 661d, 662d, 663d, 664d, 665d, 666d, 667d, 668d, 669d, 670d, 671d, 672d, 673d, 674d, 675d, 676d, 677d, 678d, 679d, 680d, 681d, 682
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U.S. Dept. of Justice

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M. J. Griffin, C. J. Bull, S. J. D. Elliott

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1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

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CITY OF GAITHERSBURG DEPARTMENT OF PUBLIC WORKS ROAD MAINTENANCE AND IMPROVEMENT	
FINAL APPROVAL	
DATE	
BY	

CITY OF GAITHERSBURG PLANNING COMMISSION
11 SOUTH EAGLE AVENUE, GAITHERSBURG, MARYLAND 20878

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION ON 12/04/2014

APPLICATION NO. SP-07-0013 MAP OR ZONING DISTRICT

FINAL SITE PLAN APPROVAL

WITH _____ : CONDITIONS SEE 3.0 DETERMINATION

DATE _____ BY _____

NOTE: ANY DEVELOPER TO BEGRAN PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

BASE INFORMATION INCLUDING GEOGRAPHY, COUNTRY,
JUDICIAL SYSTEM, IMPROVEMENTS AND GOVERNANCE
INFORMATION IS FROM:

01-28-1955 2 1746501 2 25100 4755 107
 1750 01-28-1955 2 1746501 2 25100 4755 107
 1750 01-28-1955 2 1746501 2 25100 4755 107
 1750 01-28-1955 2 1746501 2 25100 4755 107

1000-48-17710, INC.
10047 Century Blvd., Ste. 370, Germantown, Md.
20854 Tel. 301-945-4770 Fd. 301-945-6056
Cable: MPEX-INTL 3700 exp. ms. 1-1-89

Land Design
100 S. Nelson St., Alexandria, VA 22314
P. 703 549 1764 F. 703 549 0944
www.LandDesign.com

**AVENTIENE
NEIGHBORHOOD 3 FINAL SITE PLAN, PHASE 2**

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City of Gaithersburg, Maryland
FOUNDATION PLANTING UNIT TYPICALS- TOWNHOUSE STICKS AND SINGLE FAMILY PRODUCT

DATE AUGUST 14, 2007
DESIGNED BY: P.C. TS
DRAWN BY: T.C. SH
CHECKED BY: J.C. MC

REVISIONS
REV. 1 - CITY COMMENTS 8/14/07
REV. 2 - CITY COMMENTS 8/21/07

Ex. 30



 AREAS TO BE SODDED
 *NOTE: IN ADDITION TO AREAS HIGHLIGHTED, SPACE BETWEEN SIDEWALK AND CURB OR ROAD ARE TO BE SODDED AS WELL.

CITY OF GAITHERSBURG
 DEPARTMENT OF PUBLIC WORKS
 PLANNING, ENGINEERING, AND LANDSCAPE ARCHITECTURE
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION
 APPLICATION NO. SP-07-0013 WAS GRANTED
 FINAL SITE PLAN APPROVAL
 DATE: _____ BY: _____
 NOTE: ANY REVISIONS TO THIS PLAN MUST BE REAPPROVED BY THE PLANNING COMMISSION

CITY OF GAITHERSBURG
 DEPARTMENT OF PUBLIC WORKS
 PLANNING, ENGINEERING, AND LANDSCAPE ARCHITECTURE
FINAL APPROVAL
 DATE: _____ BY: _____

LandDesign
 200 E. Pikesville Rd., Suite 100, Pikesville, MD 21076
 P: 410.761.1000 F: 410.761.1001
 www.landdesign.com

AVENTIENE NEIGHBORHOOD 3 FINAL SITE PLAN, PHASE 2
 City of Gaithersburg, Maryland
 SOD PLAN

DATE: 10/17/07
 BY: [Signature]
 FOR: CITY COMMISSIONER
 BY: [Signature]
 FOR: CITY COMMISSIONER




EX. 31
 10/17/07
 SP-07-0013
 6863-001-001-001

PLANT LIST

SHADE TREES (AS LOCATED ON DEP) SHALL BE IDENTIFIED W/ A BOX AROUND LABEL

SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	REMARKS	DROUGHT TOLERANT
	ACSF 78	40	ACER X FREEMAN	FREEMAN MAPLE	12'-14'	2 1/2" - 3" DBH	FULL	*
	ARDF 44	40	ACER RUBRUM	RED MAPLE	12'-14'	2 1/2" - 3" DBH	FULL	*
	QDFP 11	40	QUERCUS PHELLO	WILLOW OAK	12'-14'	2 1/2" - 3" DBH	FULL	*
	TRCL 24	40	TRICHODENDRON	GREENSPRING LINDEN	12'-14'	2 1/2" - 3" DBH	FULL	*
	ZSCV 8	40	ZELKOVIA JAPONICA	JAPANESE ZELKOVA	12'-14'	2 1/2" - 3" DBH	FULL	*
SUBTOTAL 160 SHADE TREES								

EVERGREEN TREES

SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	REMARKS	DROUGHT TOLERANT
	LAAT 10	40	LARIX ATLANTICA	FOSTER'S HOLLY	6'-8'	---	B&B OR CONTAINER	*
	NRSS 21	40	NEEDLE P. STEVENS	NEEDLE P. STEVENS HOLLY	6'-8'	---	B&B OR CONTAINER	*
	PRDF 6	40	PRUNUS SPINOSA	SCOTCH PINE	8'-10'	---	B&B, 15" O.C.	*
SUBTOTAL 40 EVERGREEN TREES								

ORNAMENTAL TREES

SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	REMARKS	DROUGHT TOLERANT
	LAAT 8	40	LARIX ATLANTICA	TONTON DRAPE MYRTLE	14'-16'	3" - 3 1/2"	B&B, MULTI-STEM, RED FLOWERS, SINGLE STEM, MATCHED, SPECIMEN	*
	LAAT 2	40	LARIX ATLANTICA	SEMI-DOUBLED MYRTLE	14'-16'	1 1/2" MIN	B&B, MULTI-STEM, PINK FLOWERS, TO 7'-8' 3" STEM, MAX. 1" CALIPER FOR SMALLEST STEM, MATCHED, SPECIMEN	*
	PRDF 13	40	PRUNUS CERASIFERA	PURPLE-LEAF PLUM	10' - 12'	1 1/2" - 1 3/4"	B&B OR CONTAINER, FULL	*
	PRDF 3	40	PRUNUS SPINOSA	KWANTAN CHERRY	10' - 12'	1 1/2" - 1 3/4"	FLOWERS: B&B, FULL	*
SUBTOTAL 23 ORNAMENTAL TREES								



EVERGREEN SHRUBS

SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	REMARKS	DROUGHT TOLERANT
	ACDF 17	40	ACER X GRANDIFLORA	EDWARD COUGHER ABELIA	30" - 36" 30" - 36"	---	LIGHT PINK FLOWERS, CONTAINER, 3" O.C.	*
	COHF 273	40	COTONEASTER	COTONEASTER	15" - 24"	---	CONTAINER, PURPLE IN SUMMER, 1-1/2" - 2" O.C.	*
	COHF 73	40	COTONEASTER	SCARLETT LEADER	20" - 40"	---	CONTAINER, 2" O.C.	*
	COHF 112	40	COTONEASTER	DENSA	16" - 24"	---	CONTAINER, ROUNDISH, 2" O.C.	*
	COHF 347	40	COTONEASTER	BLUE CHIP JAMPER	15" - 18"	---	SPKY, GROWS TO 8"-10" HTL, CONTAINER, 1.5" O.C.	*
	COHF 155	40	COTONEASTER	PARSON'S JIMPER	18" - 24"	18" - 24"	30" O.C., CONTAINER	*
	PRDF 145	40	PRUNUS LAURIFOLIA	SPR. JAMPER	24" - 30"	24" - 30"	CONTAINER, 4" O.C.	*
	COHF 6	40	COTONEASTER	LEATHERLEAF VIBURNUM	4' - 6'	4' - 6'	4" O.C., CONTAINER OR B&B	*
	COHF 8	40	COTONEASTER	VIRENCE VIBURNUM	4' - 6'	4' - 6'	SEMI-DWARF, FRAGRANT, WHITE FLOWERS, CONTAINER, 3" O.C.	*
SUBTOTAL 1,140 EVERGREEN SHRUBS								

DECIDUOUS SHRUBS


SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	REMARKS	DROUGHT TOLERANT
	RODF 20	40	ROSA	FUSHA MEDLAND ROSE	24" - 30"	---	DARK PINK FLOWERS, CONTAINER, 3.5" O.C.	*
	SPDF 26	40	SPINARIA X BUNALCA	ANTHONY WATERER SPIRAEA	24" - 30"	---	PINK FLOWERS, CONTAINER, 3" O.C.	*
	PRDF 8	40	PRUNUS X OSTENS	PURPLE-LEAF SAND CHERRY	6' - 10'	6' - 8'	PURPLE FOLIAGE, PINK FLOWERS, B&B, 3" O.C.	*
SUBTOTAL 44 DECIDUOUS SHRUBS								

PERENNIALS

SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	REMARKS	DROUGHT TOLERANT
	BERP 18	40	BURDELLA DAVEN	BLACK NIGHT BUTTERFLY BUSH	4' HT.	2" CALIPER	AME-SEPT, 6" O.C., CROWN TO 6'-8' HT., CONTAINER	*
	MEFP 40	40	MESQUITALIS	FLAME GRASS	1' GALLON	---	GROWS 3'-4' HT., SILVER FLOWERS, 30" O.C.	*
	POAC 27	40	POLYSTICHUM	CHRISTMAS FERN	1' GALLON	---	EVERGREEN, 2'-3' HT., 2" O.C.	*
SUBTOTAL 15 PERENNIALS								

SEASONAL COLOR

CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF SEASONAL COLOR WHICH IS IN SEASON AT THE TIME OF ADJACENT PLANTING. (SEASON: THROUGH NOVEMBER, AND FEBRUARY THROUGH MAY). ALL SEASONAL COLOR BEDS SHALL BE PLANTED WITH FANDED.

SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	REMARKS	DROUGHT TOLERANT
	SE #1	100	PETUNIA GRANDIFLORA	GRANDIFLORA SUPERMAGIC PETUNIA	4" POT	---	SUMMER: ROSE, PINK, WHITE, RED	*
	SE #2	100	PETUNIA GRANDIFLORA	GRANDIFLORA SUPERMAGIC PETUNIA	4" POT	---	WINTER: 2'-3" FLOWERS: 8" O.C. - 2.5 PLANTS/50' CROWN TO 12"-14" HT.	*
SUBTOTAL 100 SEASONAL COLOR								

PLANTING NOTES

PLANTING NOTES

- THIS PLAN FOR PLANTING LOCATIONS ONLY.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE, INCLUDING SHRUBS AND GROUNDCOVERS, AND SHALL MAINTAIN AREA IN A WEED AND DEBRIS FREE CONDITION THROUGHOUT THE ONE YEAR GUARANTEE PERIOD.
- CONTRACTOR SHALL LAY OUT AND CLEARLY STAKE ALL PROPOSED IMPROVEMENTS INCLUDED ON THIS PLAN.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING MASS UTILITY PRIOR TO BEGINNING CONSTRUCTION FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 3 FT. FROM SEWER/WATER CONNECTIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- QUANTITIES AS SHOWN ON THE PLAN SHALL GOVERN OVER PLANT LIST QUANTITIES. CONTRACTOR TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN. LANDSCAPE ARCHITECT SHALL BE ALERTED BY CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION. UNIT PRICES FOR ALL MATERIAL SHALL BE SUBMITTED TO THE OWNER AT BIDDING TIME.
- ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. OWNER SHALL RECEIVE TAG FROM EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS. WHERE ANY REQUIREMENTS ARE LIMITED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY PER THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN (AAN). PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- WHERE TREES ARE PLANTED IN ROWS OR FORMAL GROUPINGS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
- SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
- ALL PLANTS SHALL BE FRESHLY CUT, SOUND, HEALTHY, UNROOTED, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS.
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, UNROOTED, WELL-BRANCHED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- GROUPS OF SHRUBS SHALL BE PLACED IN A CONTINUOUS MOUND BED WITH SMOOTH CONTINUOUS LINES. ALL MOUND BED EDGES SHALL BE CURVILINEAR IN SHAPE FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN FOUR FEET OF SHRUB BEDS SHALL SHARP, SAME MOUND BED.
- IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREA AND PLANTS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER OF LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.
- CONTRACTOR TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF GRASSES, SHRUBS, AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS TO NOT INTERFERE OR DAMAGE ADJACENT BUILDINGS.
- TREE STAKING AND TIEING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
- ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
- MULCH IS TO BE SHREDDED HARDWOOD BARK FOR TREES AND SHRUBS. FINE BARK MULCH IS TO BE USED FOR PERENNIAL BEDS.
- CROWN OF ROOT BALL SHALL BE HIGHER (AFTER SETTING) THAN ADJACENT SOIL.
- TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL.
- SHRUBS, BULBS AND GROUNDCOVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS.
- SHADE TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CHOICES THAT COULD BE POINTS OF WEAK LINK STRUCTURE OR DISEASE INFESTATION.
- SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH.
- ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER. FAILURE TO OBTAIN SUBSTITUTION APPROVAL IN WRITING MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- ALL CONTRACTORS SHALL BE REQUIRED TO COMPLETELY REMOVE ALL TRASH, DEBRIS AND EXCESS MATERIALS FROM THE WORK AREA AND THE PROPERTY (ESPECIALLY AT ALL CURB, OUTLETS AND SIDEWALKS) DAILY DURING INSTALLATION.
- DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR WEEKLY. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
- TOPSOIL REQUIRED FOR SOIL MIXES AND SPECIAL SEEDING AREAS SHALL BE PROVIDED BY CONTRACTOR. CONTRACTOR MUST LOAD, HAUL, MIX AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE TO REGRADE HYDRO-SEED, STRAW MULCH AND TACK ALL LAWN AREAS DISTURBED AS THE RESULT OF HIS WORK.
- CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SOIL/SEEDING, FOR ONE FULL YEAR AS REQUIRED BY THE SPECIFICATIONS. CONTRACTOR MUST CONTACT THE OWNER AT LEAST TO WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTIONS. CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
- THE SPECIFICATIONS FOR ALL WORK INCLUDED IN THIS CONTRACT SHALL BE LANDSCAPE SPECIFICATION GUIDELINES BY THE LANDSCAPE CONTRACTORS ASSOCIATION, DC, MD, VA, CURRENT EDITION, UNLESS OTHERWISE NOTED ON THESE PLANS.

DROUGHT-TOLERANT PLANT SOURCES

FLORAPY, MARK. THE DRY GARDEN: A PRACTICAL GUIDE TO PLANNING AND PLANTING. STEERING PUBLISHING COMPANY, INC. NEW YORK, NY: 1995.

WWW.SUNSHINESTATEFLUS/WATERRES/DROUGHT/ARTICLES/TOUGH-PLANTS.HTM

LANDSCAPING: ABBOT.COM/FILES/CHAPLANDSCAPING/7A/NETSCAPE.HTM

WWW.NCU.EDU/1-8-2007/DROUGHT-TOLERANT-PLANTS/

WWW.AZWATER.GOV/DNR/CONTENT/FINAL_BY_PROGRAM/DRDROUGHT_AND_CONSERVATION/USE WATER PLANT LISTS/

LandDesign.
200 S. BROAD ST. SUITE 101
GAITHERSBURG, MD 20878
P: 301.941.7744 F: 301.941.7745
www.LandDesign.com

AVENTIENE NEIGHBORHOOD 3 FINAL SITE PLAN, PHASE 2
City of Gaithersburg, Maryland
PLANT LIST AND NOTES

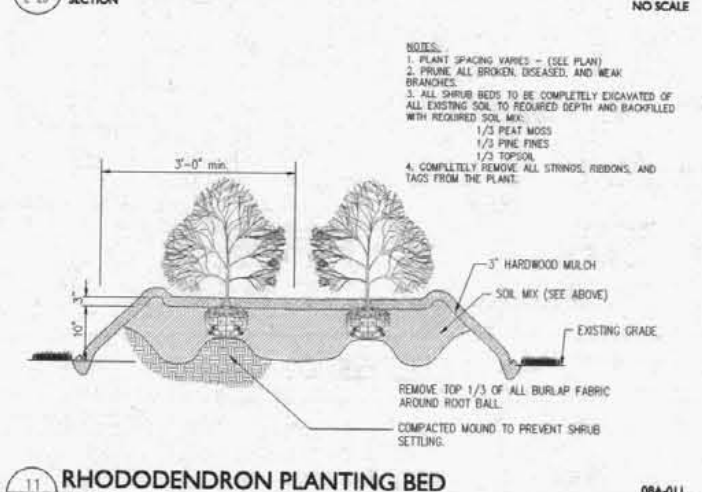
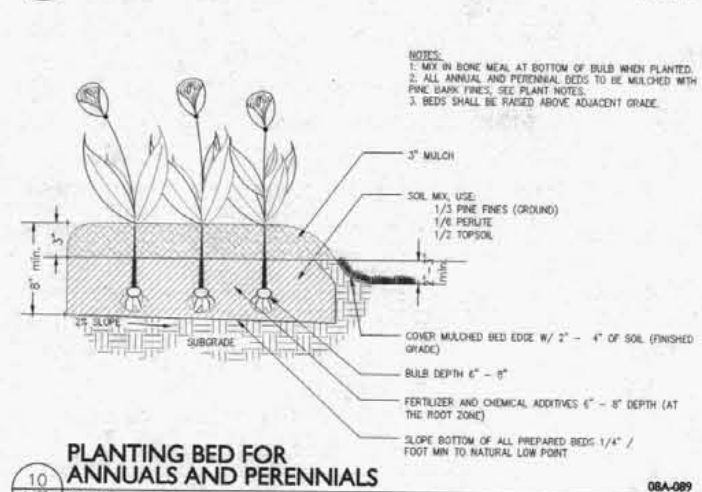
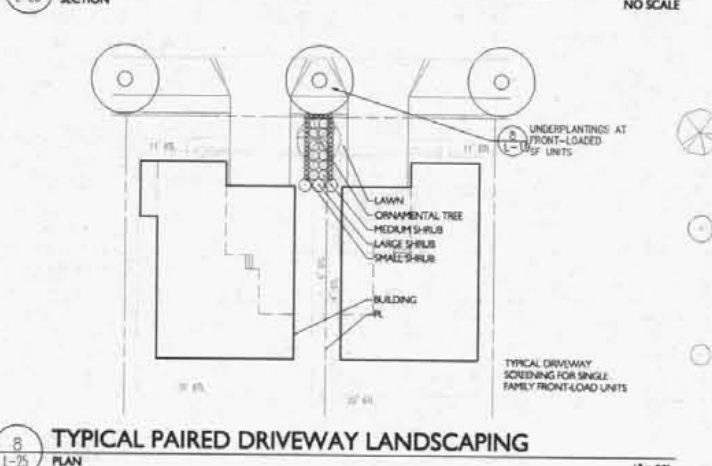
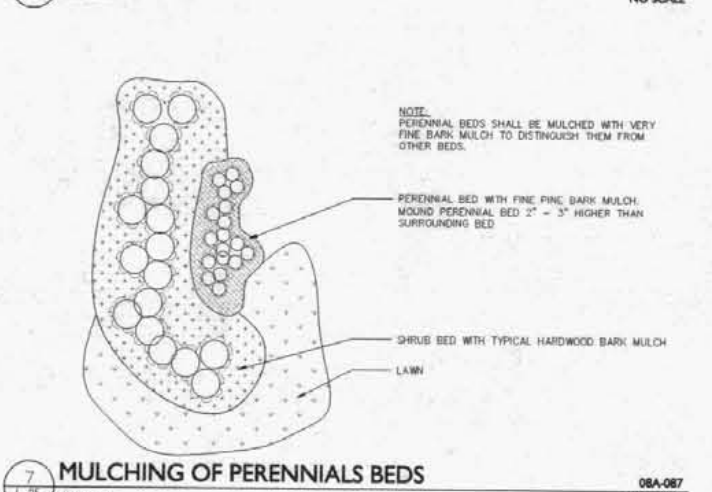
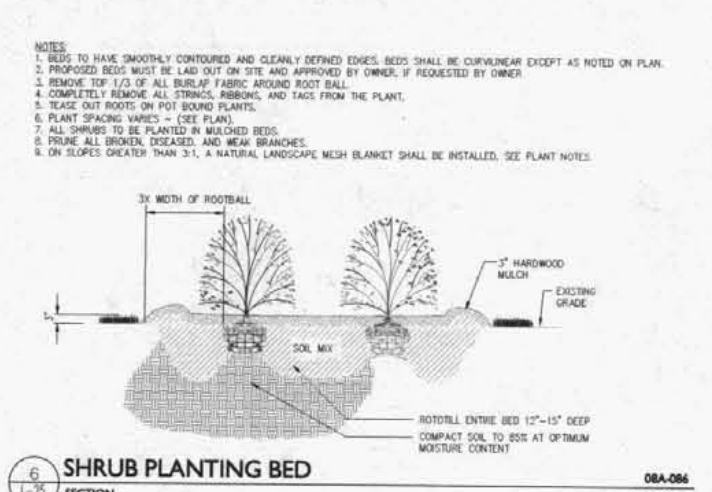
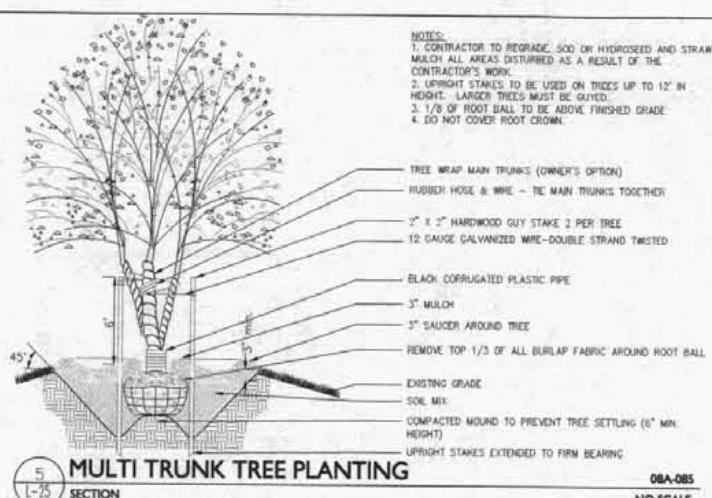
CITY OF GAITHERSBURG DEPARTMENT OF PUBLIC WORKS, PARK MAINTENANCE, AND ENGINEERING	
FINAL APPROVAL	
DATE	BY

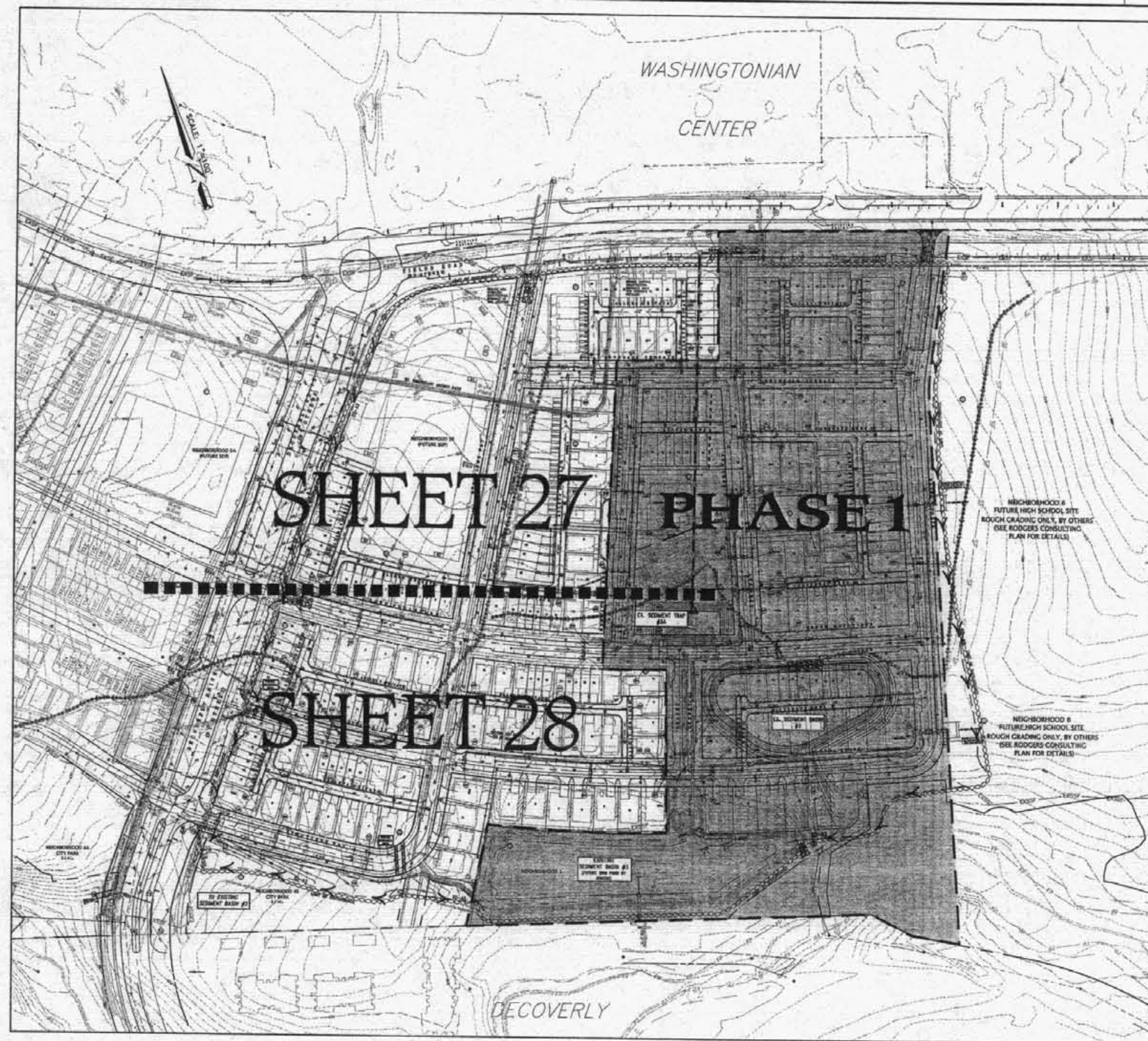
CITY OF GAITHERSBURG PLANNING COMMISSION 31 SOUTH BROAD AVENUE, GAITHERSBURG, MARYLAND 20878	
SITE PLAN APPROVAL	
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON	
APPLICATION NO. SP-07-0013	WAS GRANTED
FINAL SITE PLAN APPROVAL	
WITH () CONDITIONS	RE: S.D.A. LETTER
DATE	BY
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION	

REVISIONS:
REV. 1 - CITY COMMENTS RESENT
REV. 2 - CITY COMMENTS RESENT

DATE AUGUST 24, 2007
DRAWN BY: J. F. MC
CHECKED BY: J. F. MC
APPROVED BY: J. F. MC

Ex. 33
7/7/07
SP-07-0013
PERIOD 800-831-8888





SEQUENCE OF CONSTRUCTION

1. Prior to the clearing of trees, installing sediment control measures, or grading, notify the City of Gaithersburg Sediment Control Inspector (301) 256-6338 with at least 48 hours notice to schedule a pre-construction meeting.
2. The limits of disturbance must be field marked prior to clearing trees. Installation of sediment control measures or the construction of other land disturbing activities.
3. Install/repair stabilized construction entrances (SCE) prior to any grading. Install all silt fence and super silt fence (SSF) as shown on the plan or as directed by the sediment control inspector.
4. Inspect sediment basin #2 & #3 and restore as necessary to full capacity.
5. Once all sediment basin and trap construction is complete and approved by the City of Gaithersburg Inspector, restore and/or install earth dikes to traps and basins as shown on plan.
6. Before beginning grading operations west of Aveniente Way, storm drain system along Decoverly Drive must be installed & connected to sediment basin #2.
7. Begin final road grading and installation of water & sewer system. Adjust earth dikes as necessary during the course of grading operations. Positive drainage along earth dikes must be maintained at all times.
8. As various areas of site are brought to grade, immediately stabilize in conformance with the sediment control rules and the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control.
9. Install storm drain system as shown on plan & provide inlet protection.
10. Install curb and gutter, sidewalk, and base pave streets.
11. Begin building construction.
12. Fine grade & permanently stabilize all areas immediately as they are brought to grade and completed.
13. When the drainage areas to the sediment basins are stabilized and with the written permission of the sediment control inspector, begin their conversion to full SWM facilities per the pond construction plans.

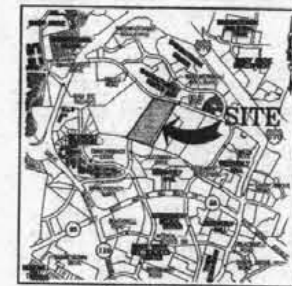
NOTES:

- Sequence of construction activities may run concurrently and/or overlap between the proposed items with the approval of the City of Gaithersburg Inspector.
- All WQ facilities must be protected from contamination following completion.
- Contractor must verify all dimensions and inverts of flow splitters prior to backfilling structure. If any discrepancies are found, notify design engineer immediately.
- All disturbed areas must be top-soiled per Montgomery County "Standards and Specifications for Topsoil".

NOTE:

THIS PLAN IS FOR FULL CONSTRUCTION OF ALL UTILITIES AND PAVING FOR THE STREETS SHOWN, AND FOR BUILDING CONSTRUCTION ON THE FOLLOWING LOTS: 1-22/O; 1-24/P; 1-23/Q; (**)26-37 & 48-56/R; 1-24/S; 1-24/V; 1-11/X & PARCELS A, C, D, E.

(**) - NO CONSTRUCTION WILL BE ALLOWED ON LOTS 26-37 & 48-56/R UNTIL COPY OF RECORDED PLAT IS PRESENTED TO CITY INSPECTOR, AND WRITTEN PERMISSION TO PROCEED IS OBTAINED.



VICINITY MAP
MONTGOMERY COUNTY
SCALE: 1"=400'

LEGEND

PREVIOUS LIMIT OF DISTURBANCE	-----
LIMIT OF DISTURBANCE	=====
EXISTING DRAINAGE DITCH	-----
PROPOSED DRAINAGE DITCH	-----
EARTH DIKE	-----
SILT FENCE	-----
SUPER SILT FENCE	-----
EXISTING EARTH DIKE	-----

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
AND ENGINEERING

FINAL APPROVAL

Stormwater Management Sediment Control

Date: _____ By: _____

This approval expires two years from date of approval.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

EXPIRATION DATE: 1/14/05



NEIGHBORHOOD 3 - PHASE 2
SEDIMENT CONTROL PLAN
AVENTIENE
GAITHERSBURG (9TH) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

CPI Charles P. Johnson & Associates, Inc.

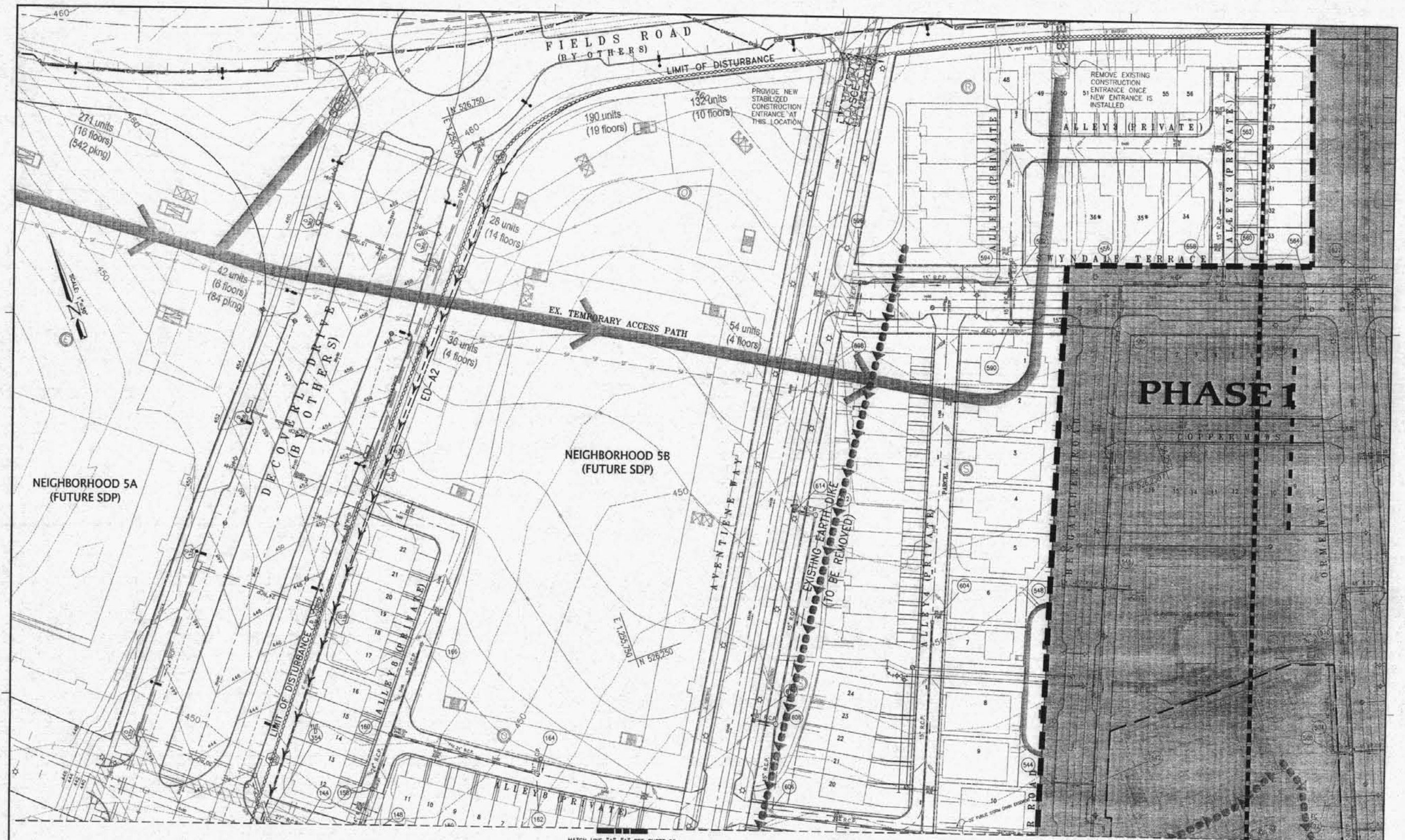
Civil and Environmental Engineers • Planners • Landscape Architects • Designers

EX. 35
10/7/01
SP-07-0013

DATE	10/7/01
BY	26
FILE NO.	41

MISS UTILITY
Call "Miss Utility" at 1-800-257-7777 or log on to <http://www.missutility.net> 48 hours prior to the start of work. The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation.

UPDATES/REVISIONS



MATCH LINE "A"-"A" SEE SHEET 28

LEGEND	
PREVIOUS LIMIT OF DISTURBANCE	-----
LIMIT OF DISTURBANCE	=====
EXISTING DRAINAGE DITCH	-----
PROPOSED DRAINAGE DITCH	-----
EARTH DIKE	=====
SILT FENCE	-----
SUPER SILT FENCE	-----
EXISTING EARTH DIKE	=====

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
AND ENGINEERING

FINAL APPROVAL

Stormwater Management Sediment Control

Date: _____ By: _____

This approval will expire two years from date of approval.

A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 29871
EXPIRATION DATE: 11/4/23

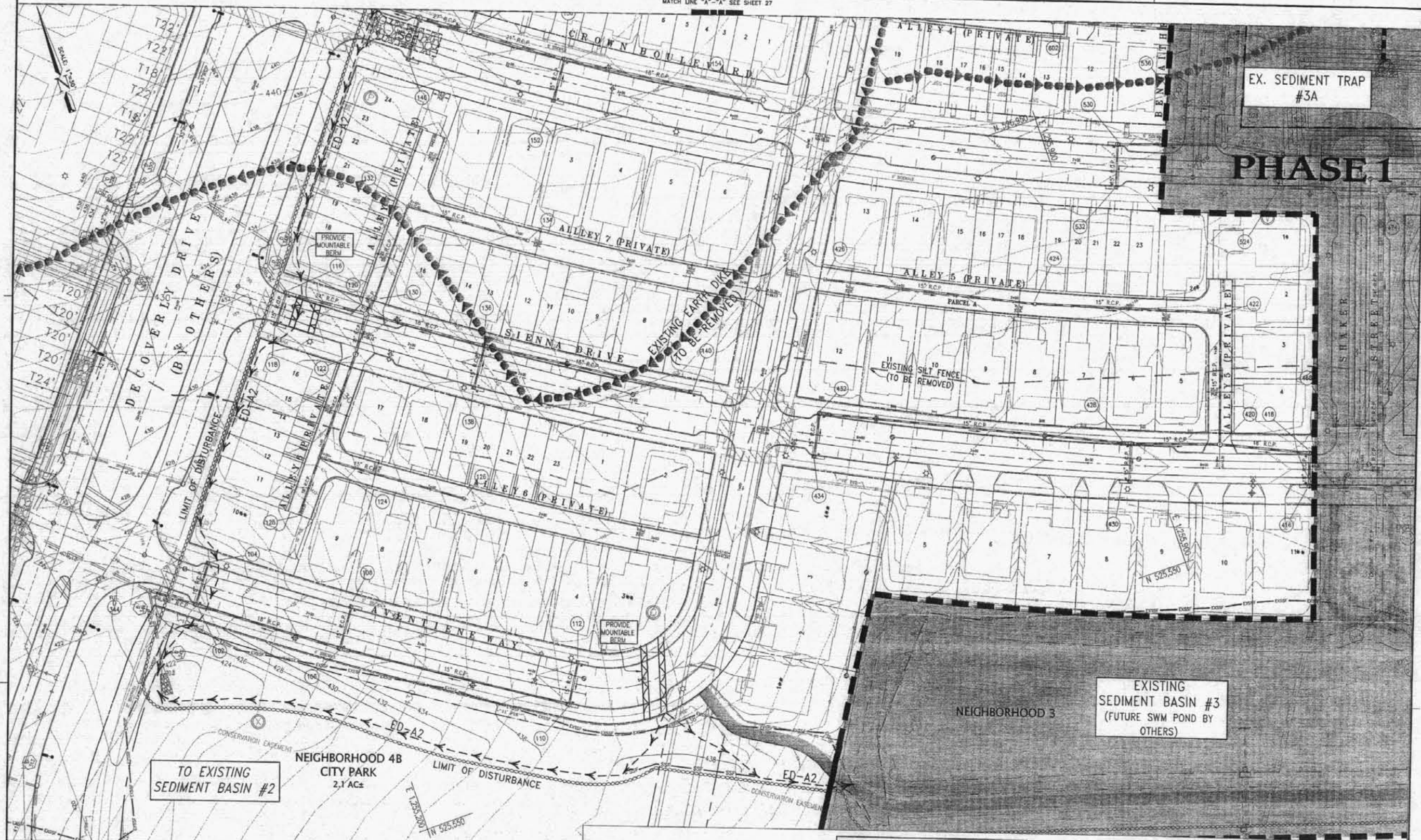


NEIGHBORHOOD 3 - PHASE 2
SEDIMENT CONTROL PLAN
AVENTUENE
GAITHERSBURG (9TH) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

CPI Charles F. Johnson & Associates, Inc.
Civil and Environmental Engineers • Planners • Landscape Architects • Engineers
10011 FARM ROAD, SUITE 200, GAITHERSBURG, MD 20878
TEL: 301.770.7700 FAX: 301.426.0000
WWW.CPI-VA.COM

Ex. 36
7/27/21
SP-07-2013

27 of 41



LEGEND

PREVIOUS LIMIT OF DISTURBANCE	-----
LIMIT OF DISTURBANCE	-----
EXISTING DRAINAGE DITCH	-----
PROPOSED DRAINAGE DITCH	-----
EARTH DIKE	-----
SILT FENCE	-----
SUPER SILT FENCE	-----
EXISTING EARTH DIKE	-----

A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 27891

EXPIRATION DATE: 11/4/08

CITY OF GAITHERSBURG

DEPARTMENT OF PUBLIC WORKS AND ENGINEERING

FINAL APPROVAL

Stormwater Management Sediment Control

Date: _____ By: _____

This approval will expire two years from date of approval.



NEIGHBORHOOD 3 - PHASE 2

SEDIMENT CONTROL PLAN

AVENTIERNE

GAITHERSBURG (9TH) ELECTION DISTRICT

MONTGOMERY COUNTY, MARYLAND

CPI Charles P. Johnson & Associates, Inc.

Chief Estimator/Engineer - Planning - Landscape Architects - Surveyors
10000 Rockledge Drive, Suite 200, Gaithersburg, MD 20878-4000
Phone: 301.948.1100 Fax: 301.948.1101
www.cpi-engineers.com

SP-07-0013

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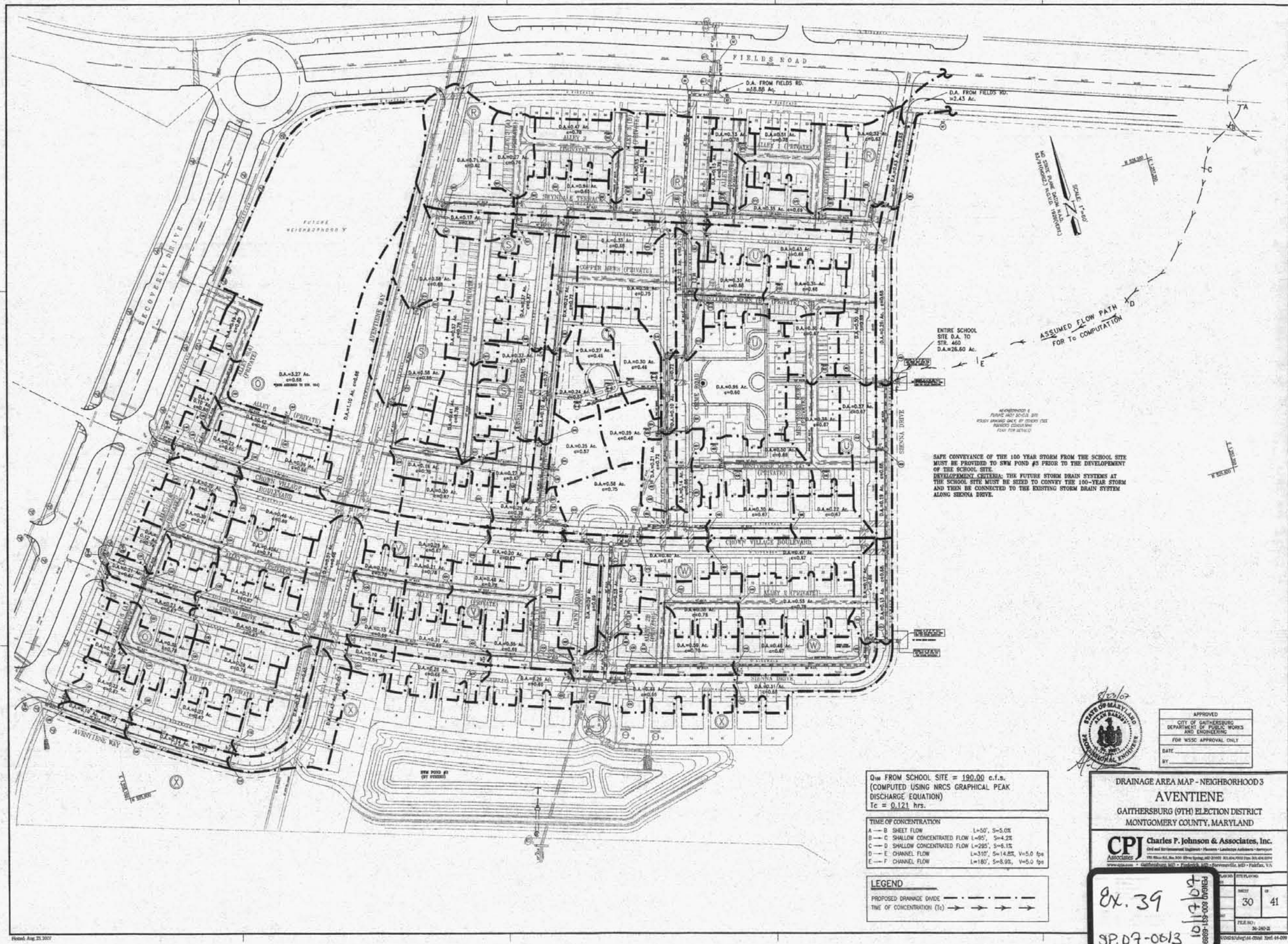
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EX-40 SP-07-043	PLANNED 010	DATE PLANNED	
	CANCELED 010	FIRST 31	OF 41
	TEST 010	FILE NO: 20-240-012	
	20-240-012		
	20-240-012		

	UPDATES/REVISIONS
--	-------------------





NOTE: FOR PARALLEL PARKING DETAIL WITH BUMP OUT, SEE SHEET 35 OF 41.

NOTE: WHEN COVER OVER STORM DRAIN PIPE UNDER STREET TREES IS LESS THAN SEVEN FEET, SEVEN FEET, PIPE JOINTS SHALL BE WRAPPED WITH "BIO-BARRIER".

NOTE: LIGHTPOLES SHALL NOT BE LOCATED OVER STORM DRAIN PIPES.

LEGEND

- PAINTED STRIPED CROSSWALK
- SPECIAL PAVED CROSSWALK (FOR DETAILS, SEE PLANS)
- INTERIM PAVEMENT CONNECTION

NOTE: ALL ALLEYS ARE PRIVATE AND ARE TO BE MAINTAINED BY THE H.O.A.

SIDEWALK RAMP
* - MCDPW&T STD. MC-112.01
& STD. MD-655.40

NOTE: ALL DRIVEWAY APRONS TO BE MCDPW&T STD. MC-301.01

ALLEY ENTRANCES
- MCDPW&T STD. MC-302.01

SEE SHEET 35 FOR TYPICAL PAVING SECTIONS

NOTE: ALL CURBS AT INTERSECTIONS TO BE MCDPW&T STD. MC-100.01

A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.

APPROVED
CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
AND ENGINEERING
FINAL APPROVAL
DATE
BY

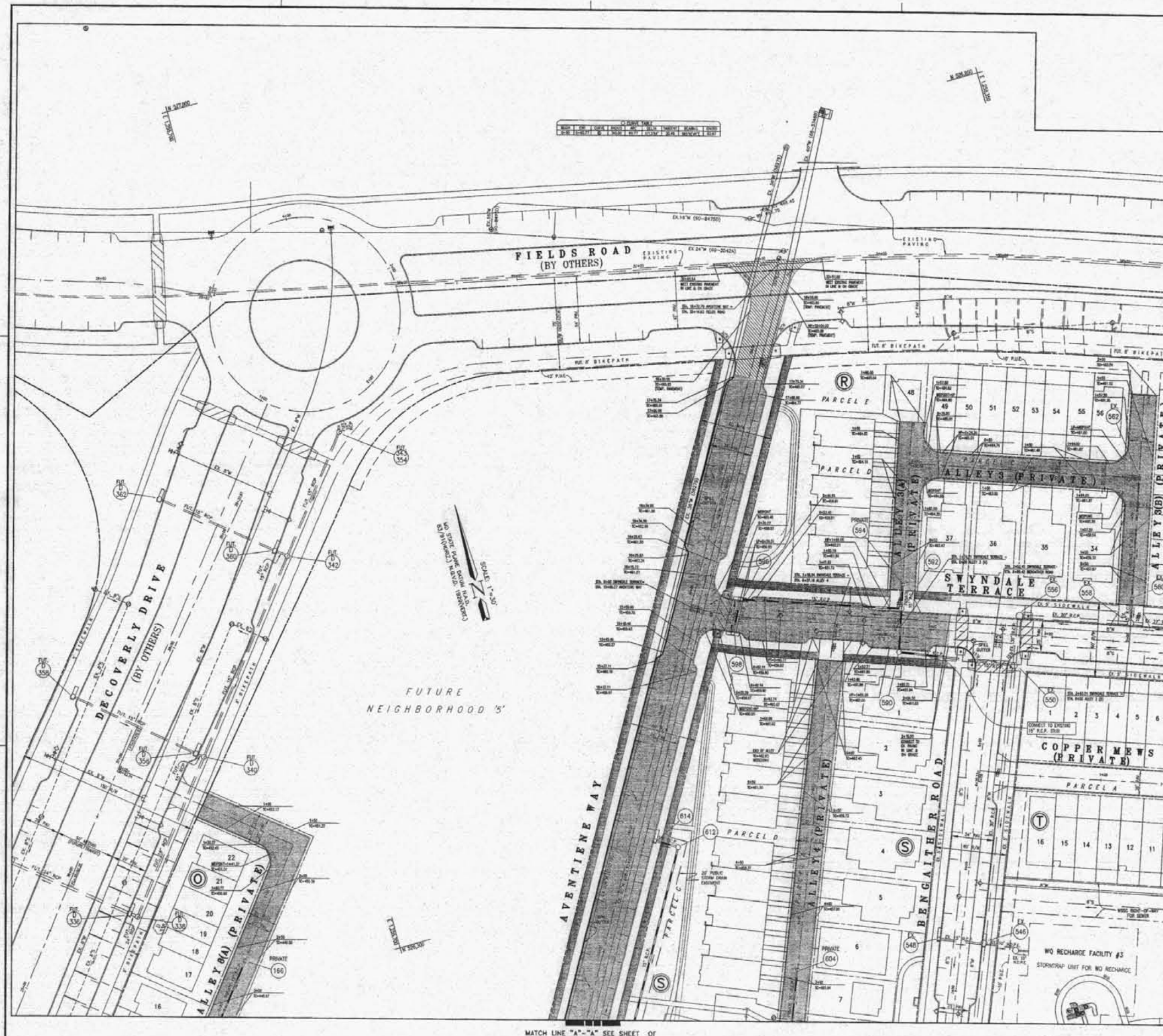
NEIGHBORHOOD 3 - PHASE 2
STORM DRAIN AND PAVING PLAN
AVENTIENE
GAITHERSBURG (9TH) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

CPJ Charles P. Johnson & Associates, Inc.
Civil and Environmental Engineers - Planners - Landscape Architects - Surveyors
1000 Blue Bell, Suite 200, Silver Spring, MD 20910-4000
Tel: 301-588-8800 Fax: 301-588-8801
www.cpjinc.com

Ex. 40
SP-07-0013

PLANS	SHEET	OF
31	41	
FILE NO. 36-340-023		

MISS UTILITY
Call "Miss Utility" at 1-800-287-7777 or log on to
<http://www.missutility.net> 48 hours prior to the start of work.
The excavator must notify all public utility companies with underground
facilities in the area of proposed excavation and have those facilities
located by the utility companies prior to commencing excavation.



NOTE: FOR PARALLEL PARKING DETAIL WITH BUMP OUT, SEE SHEET 35 OF 41.

NOTE: WHEN COVER OVER STORM DRAIN PIPE UNDER STREET TREES IS LESS THAN SEVEN FEET, PIPE JOINTS SHALL BE WRAPPED WITH "BIO-BARRIER".

NOTE: LIGHTPOLES SHALL NOT BE LOCATED OVER STORM DRAIN PIPES.

LEGEND

PAINTED STRIPED CROSSWALK

SPECIAL PAVEMENT CROSSWALK
FOR DETAILS SEE PAVING PLAN

INTERIM PAVEMENT CONNECTION

MISS UTILITY

Call "Miss Utility" at 1-800-257-7777 or log on to <http://www.missutility.net> 48 hours prior to the start of work. The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation.

NOTE: ALL ALLEYS ARE PRIVATE AND ARE TO BE MAINTAINED BY THE H.O.A.

ALLEY ENTRANCES
- MCDPW&T STD. MC-302.01

SIDEWALK RAMP
- MCDPW&T STD. MC-112.01 & STD. MD-655.40

SEE SHEET 35 FOR TYPICAL PAVING SECTIONS

NOTE: ALL DRIVEWAY APRONS TO BE MCDPW&T STD. MC-301.01

NOTE: ALL CURBS AT INTERSECTIONS TO BE MCDPW&T STD. MC-100.01

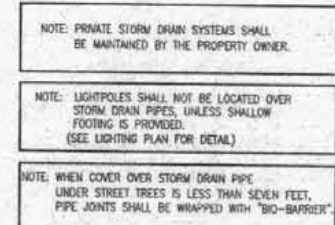
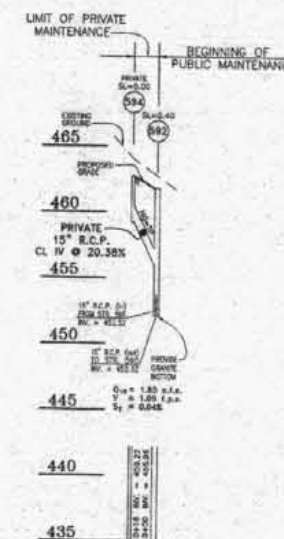
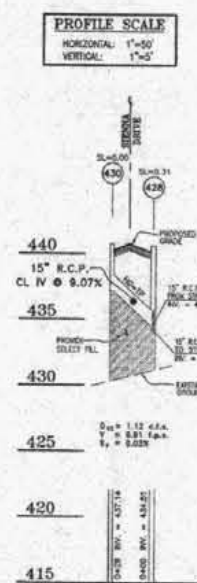
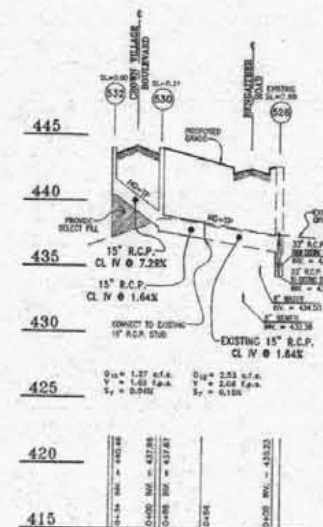
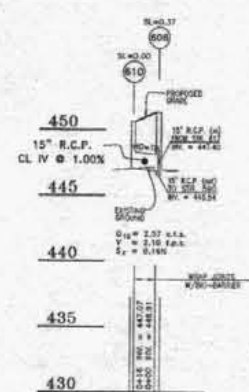
A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.

APPROVED
CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING
FOR WSSC APPROVAL ONLY
DATE _____
BY _____

NEIGHBORHOOD 3 - PHASE 2
STORM DRAIN AND PAVING PLAN
AVENTIENE
GAITHERSBURG (9TH) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

CPI Charles P. Johnson & Associates, Inc.
Civil and Environmental Engineers • Planners • Landscape Architects • Surveyors
10000 Old Columbia Road, Suite 200, Columbia, MD 21046
301.271.1100 • Fax: 301.271.1101 • www.cpi-engineers.com

Ex. 41
SP-07-0013
32 41
32-340-32



A MARYLAND REGISTERED
PROFESSIONAL ENGINEER OR ARCHITECT
SEAL AND SIGNATURE ON PLANS WILL
BE ACCEPTED AS PRIMA FACIE
EVIDENCE THAT PLANS ARE IN
COMPLIANCE WITH APPLICABLE CODES
AND REGULATIONS.

APPROVED
CITY OF GAITHERSBURG DEPARTMENT OF PUBLIC WORKS AND ENGINEERING
FINAL APPROVAL
DATE _____
BY _____

NEIGHBORHOOD 3 - PHASE 2
STORM DRAIN AND PAVING PLAN
AVENTIENE
GAITHERSBURG (9TH) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

CPI Charles P. Johnson & Associates, Inc.
Civil and Environmental Engineers • Planners • Landscape Architects • Surveyors
Associates
1011 Blount Rd., Box 3000, Killeen, Texas 76789-3000 • 254.854.7000 • Fax: 254.854.4775
www.cpi-usa.com • Gaitherburg, MD • Frederick, MD • Silver Spring, MD • Fairfax, VA

MISS UTILITY
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UPDATES/REVISIONS

EX-43
SP-07-0013

PENGLD 800-631-6969
50/EI/OI

DATE	SHEET	OF
	34	41
FILE NO: 38-240-253		

GENERAL NOTES:

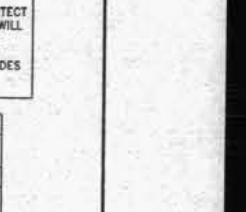
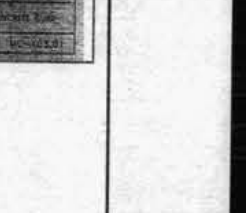
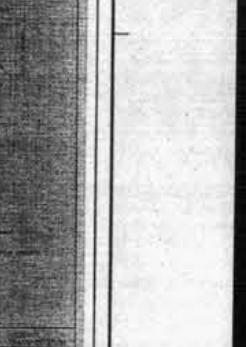
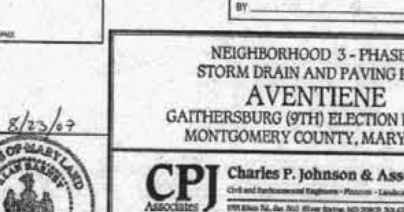
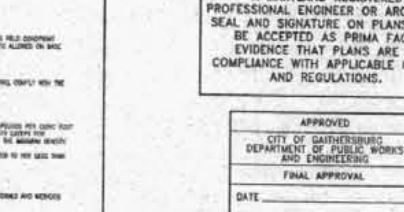
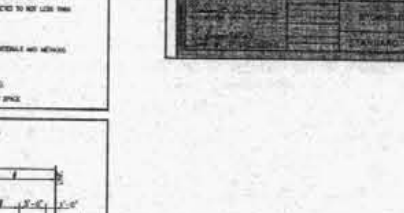
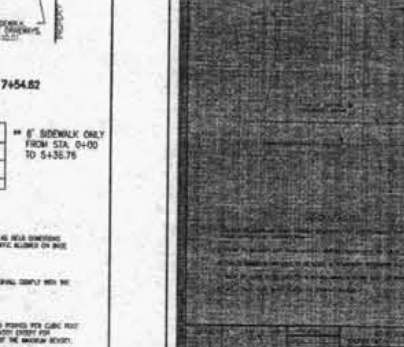
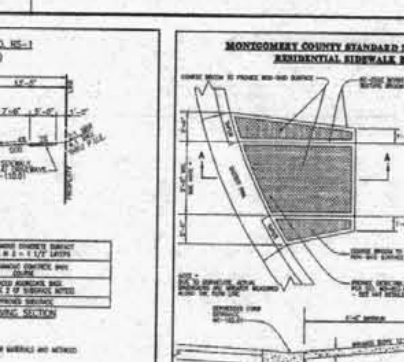
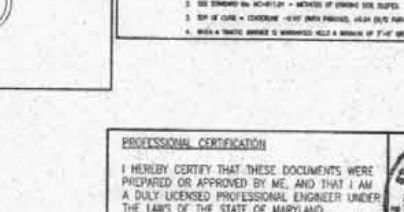
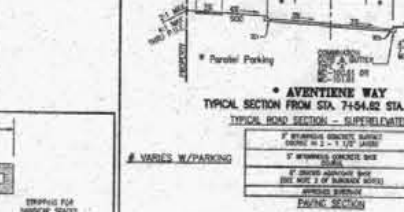
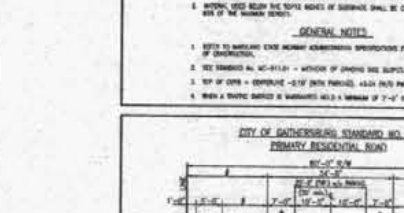
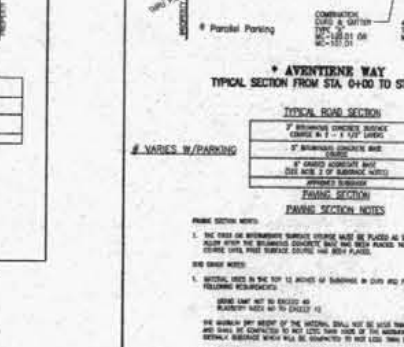
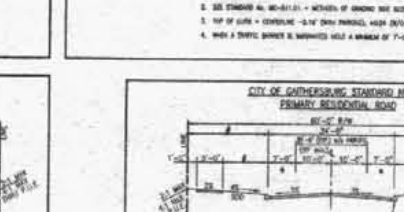
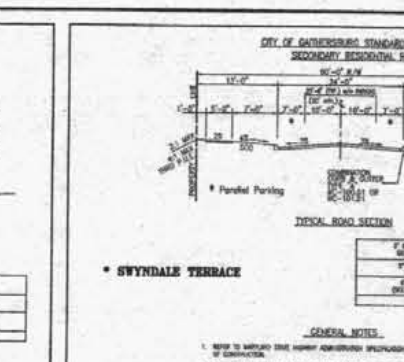
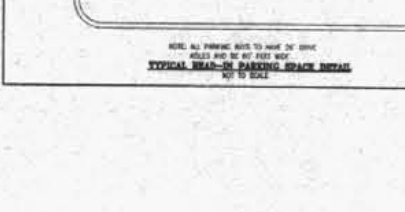
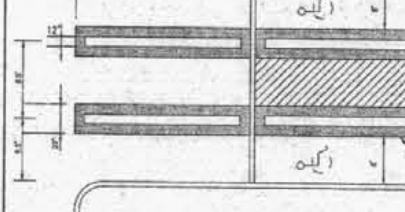
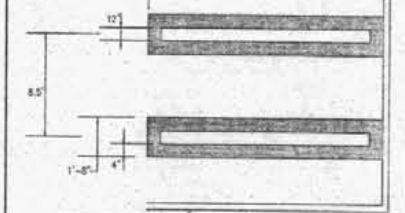
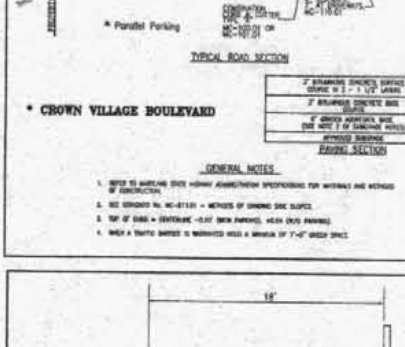
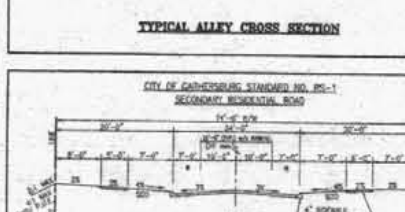
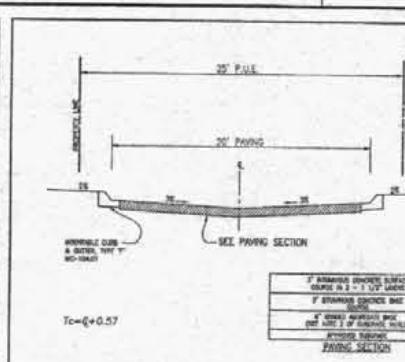
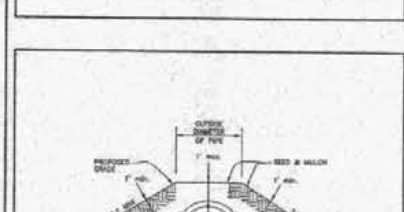
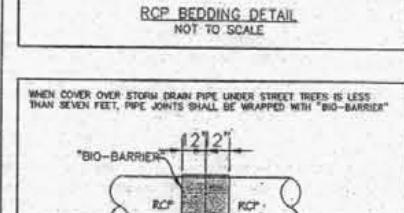
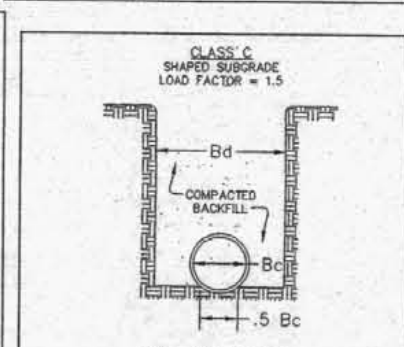
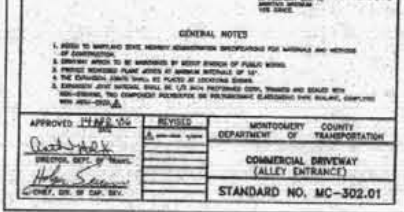
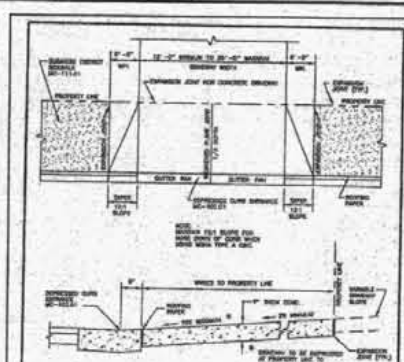
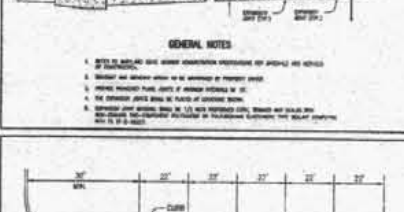
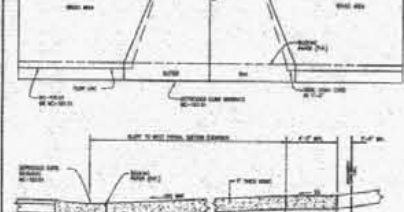
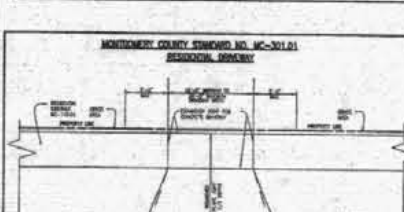
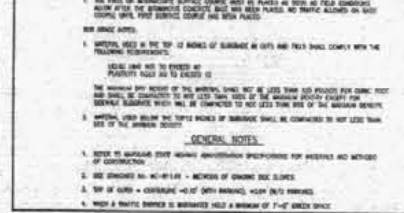
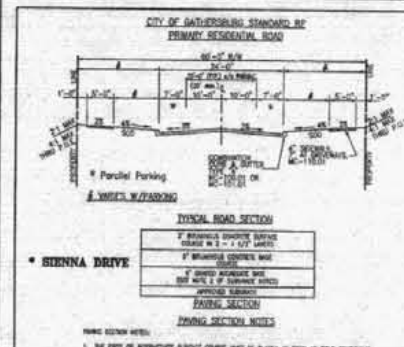
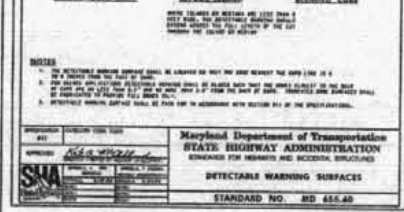
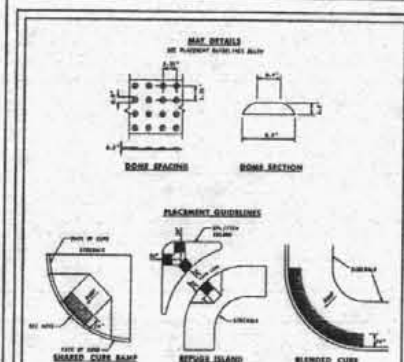
1. Locations noted are for the center of the base unit.
2. Designations are per design for American Structures. Structures are to be American or approved equal unless otherwise noted.
3. All gables for the structures located in paved areas are to be Traffic Bearing and 10-20 Traffic Rated.
4. Actual dimensions of precast structures to be determined by precast company.
5. Take appropriate measures that prevent damage to Storm Drain Pipe located in tree space with less than five (5) feet cover over top of pipe.
6. Contractor shall isolate MH Risers in such a manner as to keep frame and cover out of gutters, sidewalks, etc.

STORM DRAIN NOTES:

1. All storm drains shall be constructed in accordance with latest edition of the general specifications of Maryland State Highway Administration and Montgomery County and the City of Gaithersburg.
2. Contractor shall notify Miss Utility (1-800-257-7777) 48 hours in advance of any excavation.
3. For types of structures, refer to the standard storm drainage details of the W.S.S.C., Maryland State Highway Administration, and Montgomery County unless otherwise noted.
4. Where the drop on the main line through a structure can be accommodated by an invert slope of 1/8" or flatter, a rounded channel shall be built to the crown of the pipe.
5. Information concerning underground utilities was obtained from available records, but the contractor must determine the exact location and elevations of the mains by digging test pits by hand at all utility crossings well in advance of trenching. If clearances are less than shown on this plan or twelve (12) inches, whichever is less, contact the City of Gaithersburg Department of Transportation Inspector and the appropriate utility owner before proceeding with construction.
6. Contractor making adjustments to W.S.S.C. utilities must be approved by and work under the supervision of the W.S.S.C. Maintenance Bureau. Required materials must be approved by the W.S.S.C. quality assurance section.
7. Contractor shall notify W.S.S.C. maintenance inspection section head at (301) 206-8043 forty eight (48) hours in advance of beginning any work in the vicinity of W.S.S.C. utilities to arrange for inspection and, if desired, procurement of required materials from W.S.S.C.
8. All inlets shall be provided with base holes and foundation drainage materials per Montgomery County standards.
9. Where any part of the storm drain system is located in fill section, provide select fill material compacted to 90% AASHTO T-99 density from original undisturbed ground up to structure bottom slope and pipe bedding. Provide class "C" bedding or better for all pipes.
10. Elevations shown on profiles are of pipe inverts, unless otherwise noted.
11. Grade of disturbed areas to provide positive drainage.
12. All standard storm drainage structures are subject to modification by the field inspector to meet field requirements.
13. The Private Storm Drain system shall be maintained by the property owner.
14. When cover over Storm Drain Pipe under street trees is less than seven (7) feet, pipe joints shall be wrapped with "BIO-BARRIER".

PAVING NOTES:

1. All materials and methods of construction shall be in accordance with the latest edition of the general specifications of Maryland State Highway Administration and the City of Gaithersburg.
2. All connections of existing improvements shall be with a clean vertical joint.
3. The contractor shall notify miss utility at 1-800-257-7777 48 hours in advance of any excavation.
4. Curb, gutters, sidewalks, alleys, and all paving shall be installed in such a manner as to provide positive drainage of all areas so there is no accumulation of surface water.
5. All intersection fillet radiuses shall be 15.00 feet unless otherwise noted.
6. Contractor shall provide spill gutter on curb flats as necessary to convey water across intersections.
7. All driveway aprons shall be Montgomery County standard No. MC-301.01 unless noted otherwise.
8. Where prepared curb meets ex. curb, the contractor shall match ex. curb and gutter in line and on grade or as directed by the inspector.
9. For sidewalk handstop ramp detail and construction specifications, see MDOT/PAV standard No. MC-112.01, MC-113.01 and MGA standard No. MD-EOS-40.
10. Whenever concrete curb and gutter type "T" is used, a minimum ten foot transition shall be provided from type "T" to curb and gutter type "A" for curb returns (radius) and sections which include storm drain inlets.
11. Standard MC-100.01 combination concrete curb and gutter type "A" shall be used for all curb returns (radius) and curb sections which include storm drain inlets.
12. All existing utilities, signs, etc. requiring adjustment/relocation are the responsibility of the developer. Contact Mr. Terry Schuchert of the Division of Traffic and Parking Services (301-217-2190) prior to any change/relocation of existing street lights, signs or pavement markings.
13. All roadway subgrade shall meet MGA standard specifications, section 208 and/or Montgomery County and be approved by the inspector.
14. Information concerning underground utilities was obtained from available records, but the contractor must determine the exact location and elevations of the mains by digging test pits by hand at all utility crossings well in advance of trenching. If clearances are less than shown on this plan or twelve (12) inches, whichever is less, contact the Montgomery County Department of Transportation Inspector and the appropriate utility owner before proceeding with construction.
15. Contractor making adjustments to W.S.S.C. utilities must be approved and work under the supervision of the W.S.S.C. Maintenance Bureau. Required materials must be approved by the W.S.S.C. quality assurance section.
16. Contractor shall notify W.S.S.C. maintenance inspection section head at (301) 206-8043, forty eight (48) hours in advance of beginning any work in the vicinity of W.S.S.C. utilities to arrange for inspection and, if desired, procurement of required materials from W.S.S.C.
17. All utilities shall be installed within the street and alley subgrade prior to base course paving.
18. All Peeco cable in public right-of-way shall be in conduit.
19. All Peeco conduits for street crossings to be installed prior to any street paving.
20. Above ground structures in P.U.E. to be screened.
21. Garages shall be accessible without causing cars to drop. See site plan for garage elevations.



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 27871

EXPIRATION DATE: 1/14/08

MISS UTILITY

Call "Miss Utility" at 1-800-257-7777 or log on to <http://www.missutility.net> 48 hours prior to the start of work. The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation.

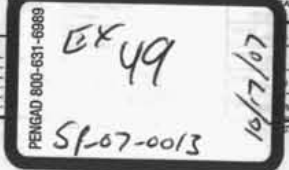
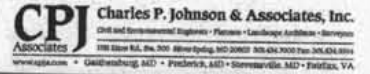
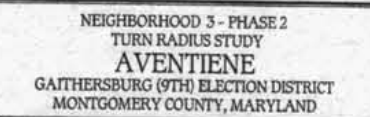
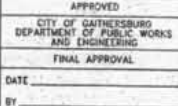
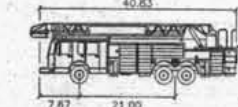
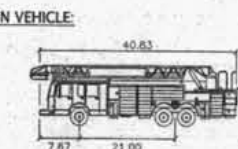
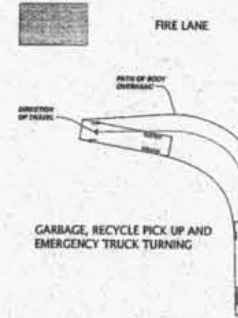
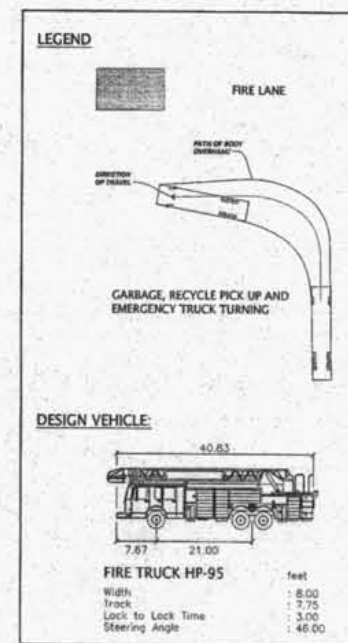
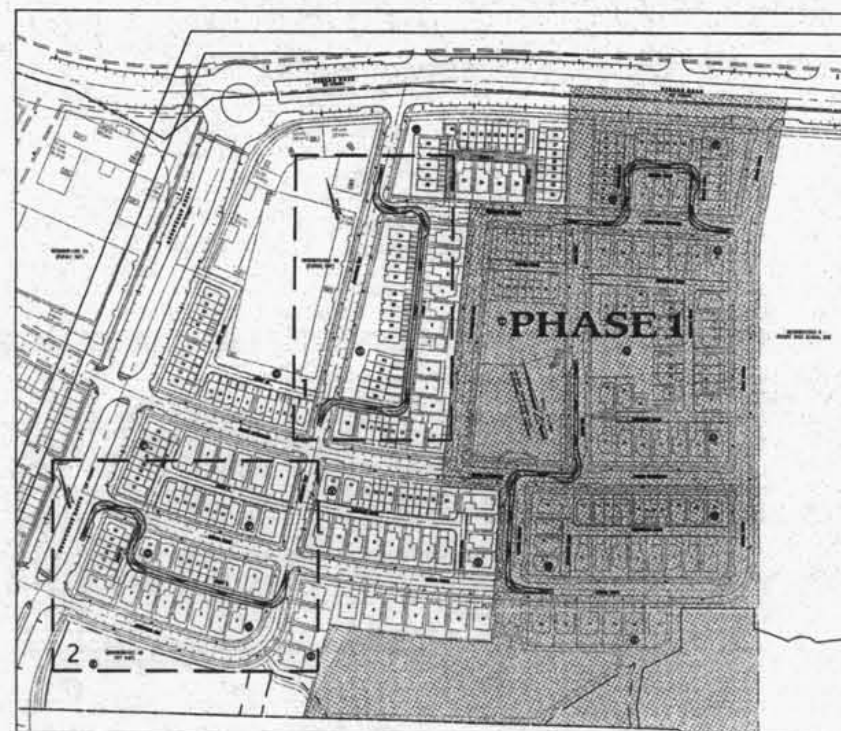
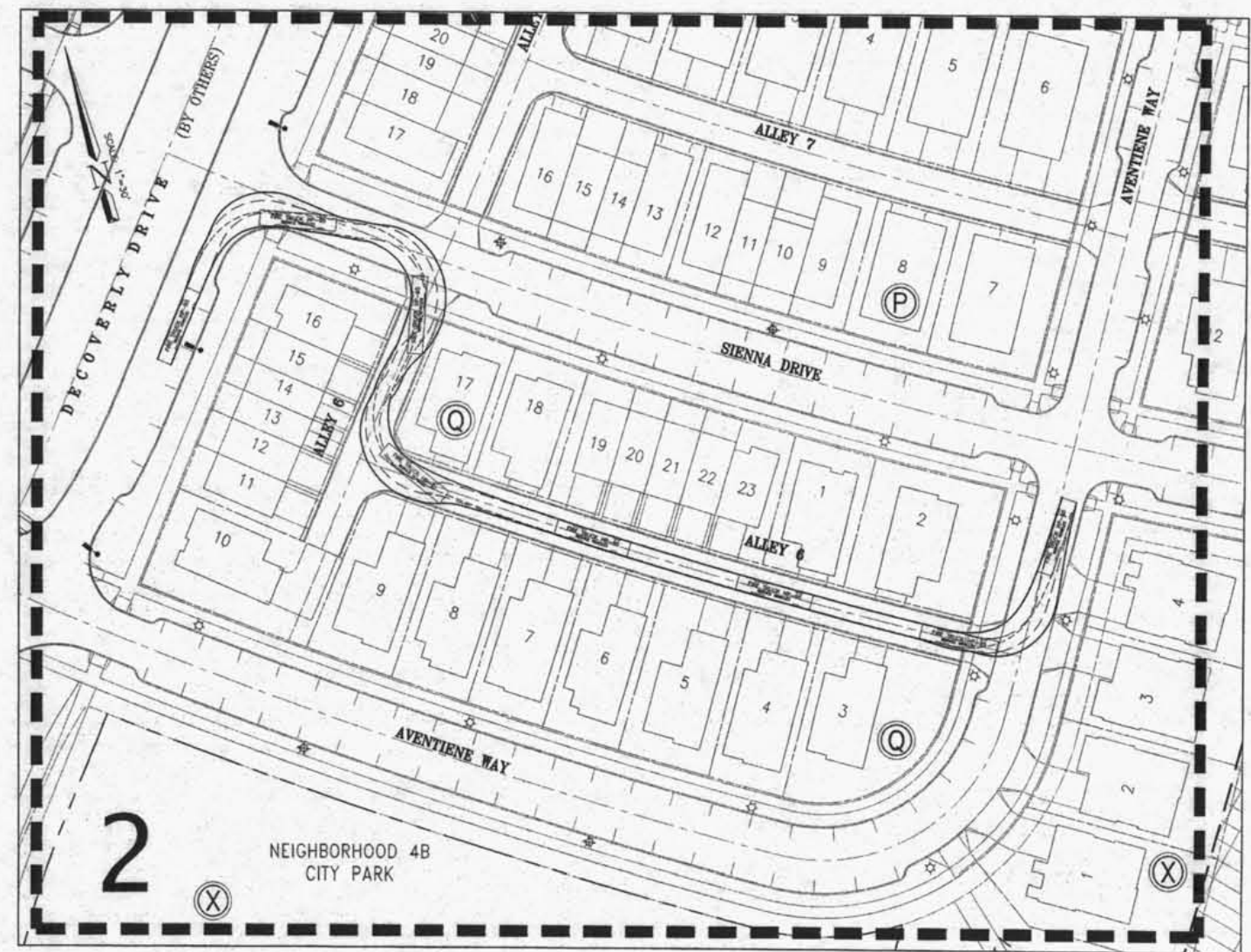
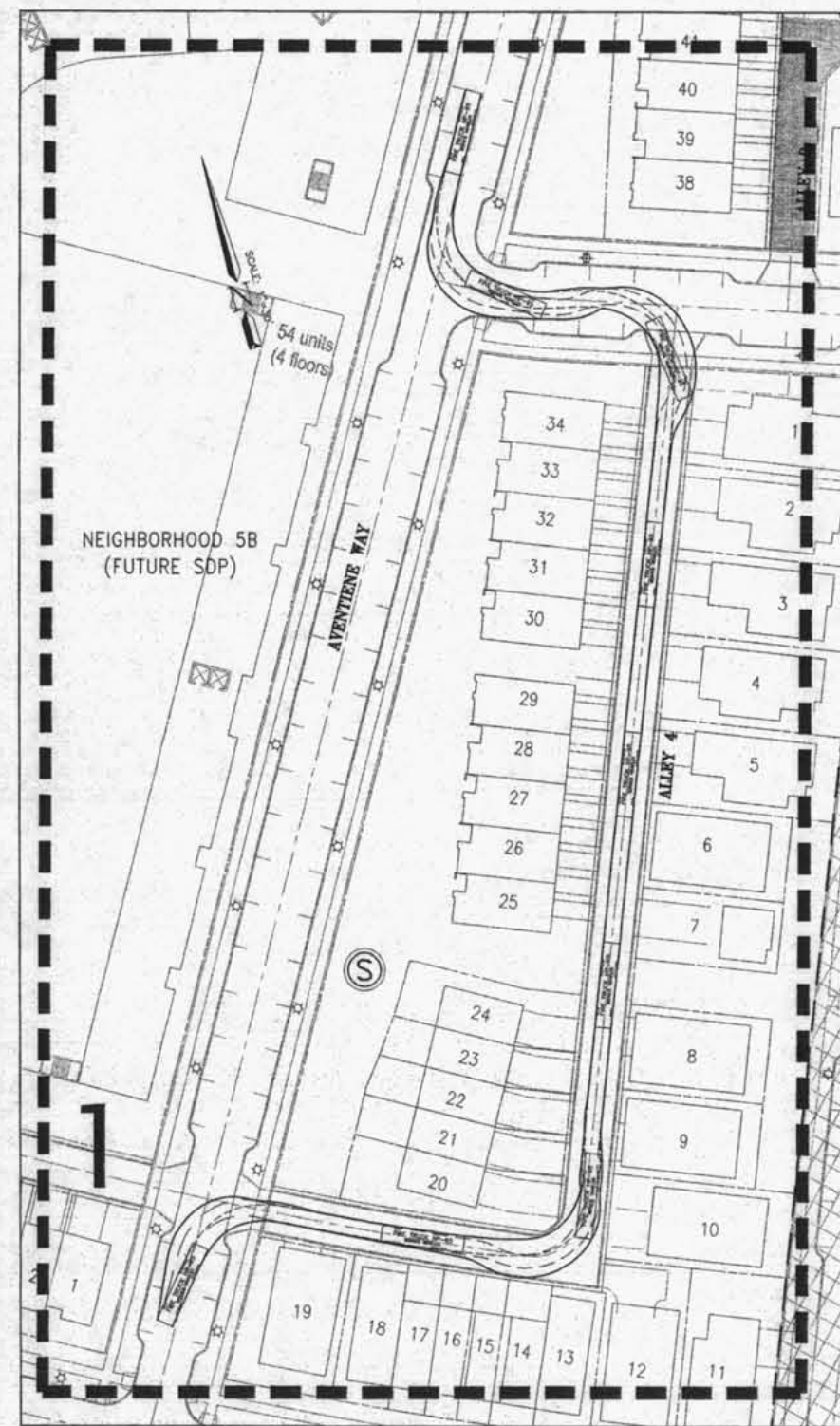
A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.

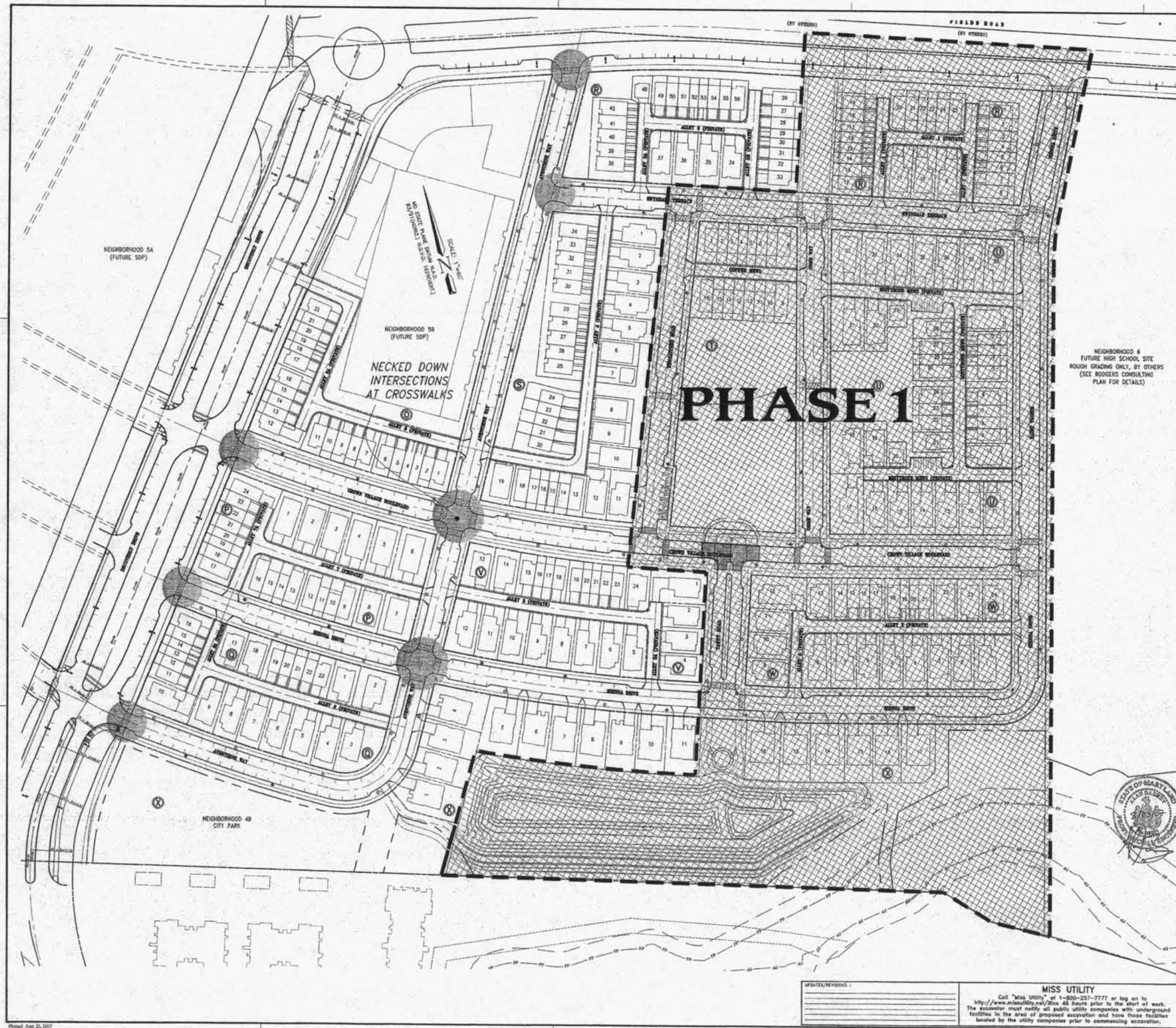
APPROVED
CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
AND ENGINEERING
FINAL APPROVAL
DATE
BY

NEIGHBORHOOD 3 - PHASE 2
STORM DRAIN AND PAVING PLAN
AVENTIENE
GAITHERSBURG (9TH) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

CPI Charles P. Johnson & Associates, Inc.
Civil and Environmental Engineers - Planners - Landscape Architects - Surveyors
10000 Old Mill Rd., Suite 200, Gaithersburg, MD 20878
www.cpi-engineers.com • Gaithersburg, MD • Frederick, MD • Silver Spring, MD • Potomac, MD • Washington, DC

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SP-07-0013
8/23/07
8/23/07
8/23/07





LEGEND

- NECKED DOWN INTERSECTIONS
- PARALLEL PARKING
- CROSSWALKS (MATERIALS CHANGE IN CROSSWALK OR RAISED CROSSWALK)
- SIGNAGE
- REDUCED RADIUS CURVES
- GRID STREET NETWORK

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APPROVED
CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
AND ENGINEERING
FINAL APPROVAL
DATE _____
BY _____

NEIGHBORHOOD 3 - PHASE 2
TRAFFIC CALMING PLAN
AVENTIENE
GAITHERSBURG (9TH) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

CPJ Charles P. Johnson & Associates, Inc.
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UPDATES/REVISIONS:

6x50
SP-07-0017
10/17/07

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FILE NO: 36-240-2U

36-240-2U